



## MINOR SPECIAL USE PERMIT

### TOWNPLACE SUITES HOTEL B2000019

**Meeting Date: August 25, 2020**

Reference Name	Townplace Suites Hotel Minor Special Use Permit (Case B2000019)		Jurisdiction	City
Request	A request for a minor special use permit to allow a hotel where the property line is 200 feet or less from a residential district or the property line of a single-family residential use.			
Site Characteristics	Tier:	Urban		
	Use:	Vacant		
	Zoning:	Office & Institutional (OI)		
	Overlays:	None		
	Size:	1.10		
Applicant	Duke Hospitality, LLC		Submittal Date	March 3, 2020
Location	3114 Hillsborough Road			
PID(s)	119548			
Staff Recommendation	Staff recommendation will make a recommendation following the hearing.			

#### A. Summary

Duke Hospitality, LLC, applicant and property owner, requests a minor special use permit (mSUP) to construct a hotel at 3114 Hillsborough Road. The site is zoned Office and Institutional (OI) and within the Urban development tier. The applicant is proposing the construction of an eight-story hotel (basement parking) with 95 total bedrooms.

Per Section 5.3.4N of the Unified Development Ordinance, a minor special use permit shall be required if the property line of a hotel, motel, or extended stay residence is 200 feet or less from a residential district or the property line of a single-family residential use, unless such location is consistent with an approved development plan that specifies the type, size, and intensity of use.

#### B. Summary of the Issues

Staff has identified no issues at the time of this report.

#### Recommended Conditions of Approval

1. The improvements shall be substantially consistent with the information and site plan, case D1900376, submitted to the Board as part of the application.

## C. UDO Section 3.9.8: Criteria for Approval

### 1. UDO Section 3.9.8A General Findings

Applications for major or minor special use permits shall be approved only if the approving authority finds that the use as proposed, or the use as proposed with conditions, is:

1. *In harmony with the area and not substantially injurious to the value of properties in the general vicinity;*
2. *In conformance with all special requirements applicable to the use;*
3. *Will not adversely affect the health or safety of the public; and*
4. *Will adequately address the review factors identified below.*

If the Board of Adjustment fails to find conformance with the conditions listed above, or makes findings which are inconsistent with those conditions listed above, then the proposed permit must be denied.

The Board should consider the information provided in the staff analysis and conclusions for the following review factors when making determinations on the general findings.

The applicant has provided responses to the general findings and review factors in Attachment 3, Application – B2000019.

### 2. UDO Section 3.9.8B Review Factors

UDO Section 3.9.8B requires consideration of the review factors shown below:

#### a. **Circulation**

*Number and location of access points to the property and the proposed structures and uses with particular reference to automotive, bicycle, mass transit and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.*

**Staff Analysis.** The site shall have a full access drive located on Hillsborough Road and a right-out-only egress located along the Hillandale-Hillsborough Connector.

#### b. **Parking and Loading**

*Location of off-street parking and loading areas.*

**Staff Analysis.** The proposed overnight accommodation will have 95 rooms. Per UDO Sections 10.3.1.A.4 and B.1, the applicant is required to provide 1.25 parking spaces per room plus 1 per 100 square feet where there is a conference room, banquet hall, or restaurant. There are no conference rooms, banquet halls, nor restaurants proposed. The required minimum parking spaces for the proposed overnight accommodation is 119 parking spaces; of those a minimum of five are required to be handicapped accessible. Within the Urban Tier, the minimum parking



rate is 90% of the total required, or in this case, the applicant could provide a minimum of 108 parking spaces and still be in compliance. This 10% parking reduction coupled with additional 10% parking reduction for meeting the requirements of UDO Section 10.3.1B.9b relating to bicycle parking and public transit, allows the applicant a maximum 20% parking reduction to provide 97 motor vehicle parking spaces and 37 bicycle parking spaces. The proposed parking will meet UDO standards.

**c. Service Entrances and Areas**

*Locations of refuse and service areas with particular reference to ingress and egress of service vehicles.*

**Staff Analysis.** A dumpster enclosure with gate is proposed on a paved extension in the northeast corner of the parking area (see site plan, Attachment 4). The dumpsters will be screened with fencing at least six inches taller than the dumpster per UDO Section 9.7.2B.

**d. Lighting**

*Locations of exterior lighting with reference to glare, traffic safety, economic effect, and compatibility with other properties in the area.*

**Staff Analysis.** Lighting is proposed throughout the parking lot. The lighting has been placed and oriented to reduce spillover onto adjacent properties. The applicant is required to meet the requirements of UDO Section 7.4, Outdoor Lighting.

**e. Signs**

*Appropriateness of signs considering location, color, height, size, and design within the context of other properties in the area.*

**Staff Analysis.** Any proposed signs will require a separate review and permit and must be in compliance with the Ordinance signage requirements. Signs are not reviewed during site plan review nor during the minor special use permit process.

**f. Utilities**

*Location and availability of utilities.*

**Staff Analysis.** The site will be serviced by public water and sanitary sewer. Utility location has been reviewed and approved by the necessary departments.

**g. Open Spaces**

*Location of required yards and other open spaces, and preservation of existing trees and other natural features.*

**Staff Analysis.**

Per UDO Section 7.1.2B, the required yards that apply are as follows:

Yard	Required Setback
------	------------------

Street	15 feet maximum
Side	10 feet minimum
Rear	25 feet minimum

The UDO does not require preservation of open space pursuant to sections 7.2, Open Space, or 8.3, Tree Protection and Tree Coverage.

**h. Environmental Protection**

*Preservation of tree cover, Durham Inventory Sites, floodplain, stream buffers, wetlands, steep slopes, open space and other natural features, and protection of water quality.*

**Staff Analysis.** No Inventory Sites, floodplains, wetlands, stream buffers, or steep slopes exist on site.

**i. Screening, Buffering and Landscaping**

*Installation of screening, buffering, fencing, and landscaping where necessary to protect adjacent property.*

**Staff Analysis.** Per UDO Section 9.4.2, project boundary buffers are not required where the adjoining street right-of-way is greater than 60 feet in width. The applicant is providing vehicular use area (VUA) landscaping in accordance with UDO Section 9.8.2A for VUA visible from the street. The proposed orientation has the rear side of the building facing the connector and the bulk of the parking lot facing outward to Hillsborough Road. The residential properties that are located within 200 feet are to the rear of the building further down Hillandale Road.

**j. Effect on Adjacent Property**

*Effects of the proposed use on nearby properties, including, but not limited to, the effects of noise, odor, lighting, and traffic.*

**Staff Analysis.** The table below notes the surrounding uses and zoning districts:

Surrounding Uses and Zoning Districts				
	Use	Zoning District	Overlay	Tier
North	Government Building	RS-8 OI	None	Urban
South	Industrial	IL	None	Urban
East	Office	OI	None	Urban
West	Government Building	RS-8 OI	None	Urban

The applicant is not required to provide additional screening or buffering due to the width of the right-of-way surrounding the site. Staff believes that the right-of-way provides adequate spacing such that the lighting, traffic, and noise effects should be minimum on the adjacent properties.

**k. Compatibility**

*The level of general compatibility with nearby properties and impacted neighborhoods, including, but not limited to, the appropriateness of the scale, design, and use in relationship to other properties.*

**Staff Analysis.** The subject site is nestled between industrial and government facilities of a similar industrial design. The height of the structure is greater than those nearby but the location of the building adjacent to the steeply sloped connector to Hillandale Road offsets the increase in height. The maximum permitted height within the OI zoning district is 90 feet; the applicant is staying below that with a structure that is 70 feet from the main-level finish-floor elevation to the top of the roof deck.

**l. Consistency with Policy**

*Consistency with the Durham Comprehensive Plan and applicable development tier guidelines, overlay purposes, and zoning district intent statements in Article 4, Zoning Districts.*

**UDO Section 4.1.2A.3 Urban Tier Intent Statement**

*The Urban Tier – That area surrounding the historic downtown of the City within which development was concentrated prior to the 1960s. Within this area, development should maintain an urban form with small lot sizes and differing uses in proximity to one another.*

**UDO Section 4.3.3 Office and Institutional (OI)**

*The OI District is established for employment and community service activities. Some support facilities and residential uses are also allowed when compatible with surrounding uses. The OI district is designed for use on sites that have convenient access to arterials, since development of moderate to high intensity is allowed.*

*The OI District is used to implement the Comprehensive Plan within those areas shown as part of the Rural, Suburban, Urban, or Compact Neighborhood Tiers.*

**Staff Analysis.** The property is located in the OI zoning district within the Urban Tier. The Use Table of UDO Section 5.1.2 permits an overnight accommodation within the zoning district by-right. The limited use standards of Section 5.3.3K require the applicant to receive approval from the Board when the use is within 200 feet of a residential use. The applicant is not required to provide additional screening or buffering due to the width of the right-of-way surrounding the site.

**m. Other Factors**

*Any other review factors which the approving authority considers to be appropriate to the property in question.*

**Staff Analysis.** No other factors have been identified at this time.

**D. Notification**

Staff certifies that newspaper advertisements, letters to property owners within 600 feet of the site, and the posting of a sign on the property have been carried out in accordance with UDO Section 3.2.5. In addition, email notice was provided per the Durham Planning Public Notification Service.

**E. Staff Contact**

Eliza Monroe, 919-560-4137 ext. 28245, or [Eliza.Monroe@durhamnc.gov](mailto:Eliza.Monroe@durhamnc.gov)

**Attachments**

1. Context Map
2. Durham GIS Aerial Photograph
3. Application – B2000019
4. Site Plan – D19000376

**F. Possible Motion**

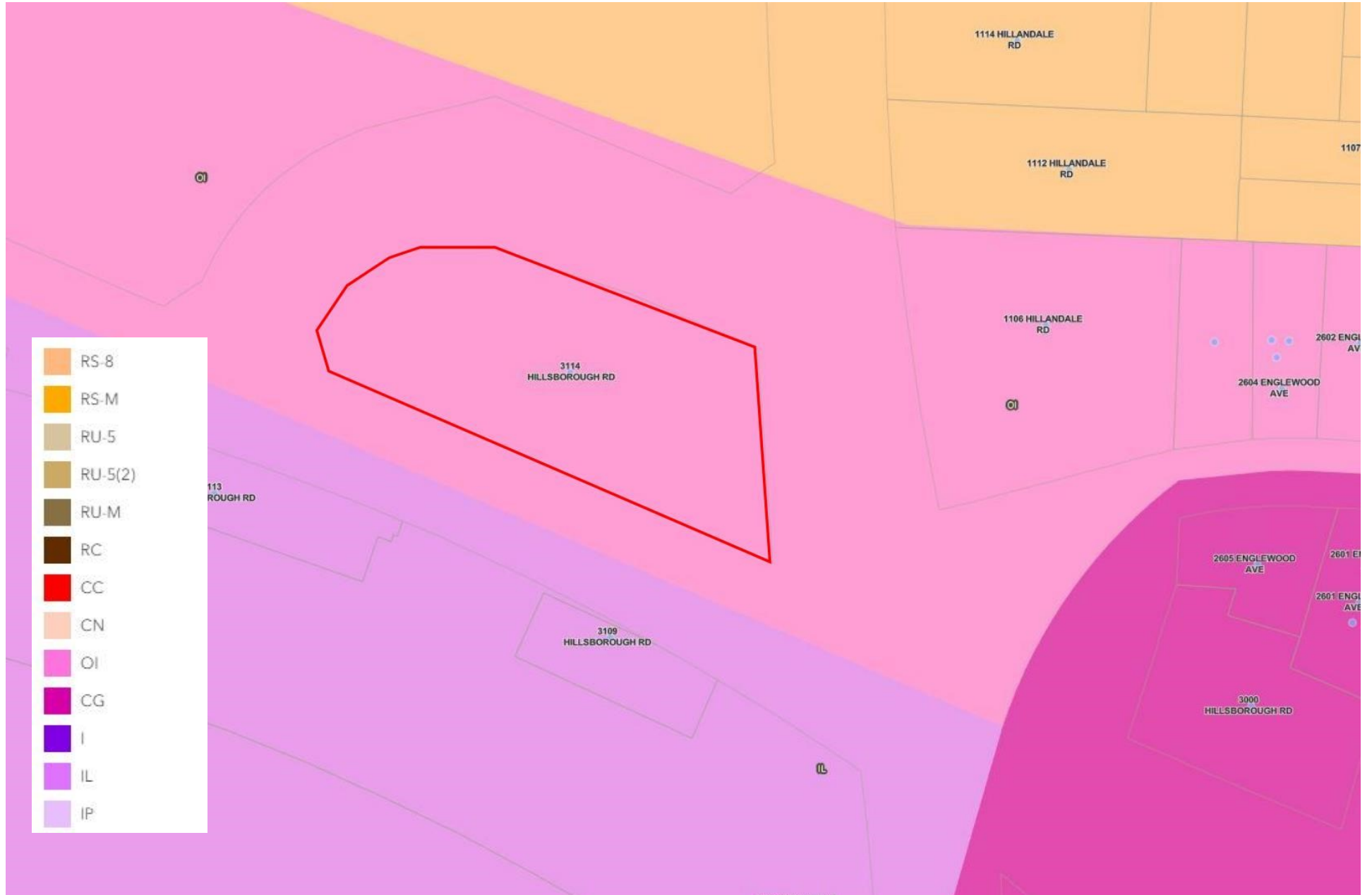
**MOTION TO GRANT APPLICATION WITH CONDITIONS**

I hereby make a motion that application no. **B2000019**, an application for a **MINOR SPECIAL USE PERMIT** on property located at **3114 HILLSBOROUGH ROAD** has successfully met the applicable requirements of the unified development ordinance and is hereby granted subject to the following conditions:

1. The improvements shall be substantially consistent with the site plan, case D1900376, and all information submitted to the Board as part of the application.

**B2000019 Townplace Suites Hotel Minor Special Use Permit**

**Context Map**





**B2000019 Townplace Suites Hotel Minor Special Use Permit**

**Aerial Map**







Durham City-County Planning Department

# MINOR AND MAJOR SPECIAL USE PERMIT (SUP) APPLICATION

(A Pre-submittal conference must be held prior to submission)



## Tracking Information (Staff Only)

Case Number: B2000019 Date/Time rec'd: 3/3/2020 @ 2PM Rec'd by: Eliza Monroe

## About this Application

### ONLY COMPLETE APPLICATIONS CAN BE ACCEPTED

**Minor special use permits** are heard by the Board of Adjustment as a quasi-judicial public hearing. **Major special use permits** are heard by the Governing Body (City Council if City, Board of Commissioners if County) as a quasi-judicial public hearing.

**Submittal:** Applications are accepted by appointment only. Deadlines are discussed at the pre-submittal meeting and are available online at <http://durhamnc.gov/340/Applications-Application-Materials>. Applications should be submitted in-person, and fees are due at time of submittal.

The application is a form of written testimony, and used both to show how Ordinance considerations are addressed and to provide evidence that the required findings for approval can be made. In addition to the application materials, the applicant may provide any other written, drawn or photographed material to support his/her request and as permitted by the Board of Adjustment or Governing Body, as applicable. Any such additional material submitted will become part of the application, and as such cannot be returned.

Attendance at the hearing is required. Applicants may represent themselves or may be represented by someone appropriate for quasi-judicial public hearings. The applicant has the **burden of proof** and must provide sufficient evidence in order for the required findings to be made. The public hearing will allow the applicant, proponents, opponents and anyone else the opportunity to testify in regards to the request. An application may be approved, approved with conditions, continued for more information, or denied. **Decisions can be appealed to Superior Court within 30 days.**


**Contact Information:** If you have any questions, please contact the City-County Planning Department at 560-4137 between 8:00 a.m. and 5:00 p.m. on weekdays.

Application Requirements	Applicant Initial	Staff Initial
Record of the pre-submittal meeting (copies provided at the meeting)	DP	EM
Fee	DP	EM
Completed application and responses: ORIGINAL signatures required	DP	EM
Submitted Site Plan (Digital and 11x17), if required, or Plot Plan	DP	EM
Responses to general findings and review factors: Section 3.9.8A and B of the UDO	DP	EM
Responses to Additional Findings and/or Review Factors, as applicable	DP	N/A
Responses to Limited Use Standards, as applicable	DP	N/A
Floorplan, as applicable	DP	EM
Elevations, as applicable	DP	EM
<b>Note:</b> Additional supporting documents may also be submitted		

**Property Information**

Site Address: 3114 HILLSBOROUGH ROAD	PID(s): 119548
Zoning District(s) : OI	PIN(s): 0821-16-84-6824
Overlay District(s): NONE	SUP Type: <input checked="" type="checkbox"/> Minor (msup) <input type="checkbox"/> Major (MSUP)
Current Use: VACANT	Jurisdiction: <input checked="" type="checkbox"/> City <input type="checkbox"/> County <input type="checkbox"/> Both

**Property Owner**

Name(s) (Print): DUKE HOSPITALITY, LLC	Telephone: (919) 889-2911
Contact Person: DEPESH PATEL	Email: depesh@bluedevedge.com
<p>Owner Signature  Date 3/3/2020</p>	

**Applicant**

Name(s): DUKE HOSPITALITY, LLC	
Contact Person: DEPESH PATEL	Telephone: (919) 889-2911
Address: 200 GATEWAY BLVD	Fax:
City/State/ZIP: ROCKY MOUNT, NC 27804	Email: depesh@bluedevedge.com
<p><b><i>I certify that all of the information presented by me in this application is accurate to the best of my knowledge, information, and belief.</i></b></p> <p>Applicant Signature  Date 3/3/2020</p>	

**Agent (if different than applicant)**

Name:	
Contact Person:	Telephone:
Address:	Fax:
City/State/ZIP:	Email:



**Complete and respond to the following with an attachment (suggested), or in the space provided:**

Applicant's Name: I, DEPESH PATEL, do hereby petition the City of Durham/County of Durham for a Special Use Permit to allow the following:

8-story hotel project with approximately 95 bedrooms, approximately 57,000 SF floor area, parking lot, and associated utilities.

### **Section 3.9.8 of the UDO: Criteria for Approval of Major and Minor Special Use Permits**

#### **A. General Findings**

Applications for minor or major special use permits shall be approved only if the Board of Adjustment or Governing Body, as applicable, finds that the use as proposed, or the use as proposed with conditions, is:

1. In harmony with the area and not substantially injurious to the value of properties in the general vicinity;  
*Applicant's Response:*

This project will be a modern hotel, which will enhance the surrounding community. The surrounding area is mostly commercial.

2. In conformance with all special requirements applicable to the use;  
*Applicant's Response:*

Yes, this project is in conformance with all special requirements applicable to the use.

3. Will not adversely affect the health or safety of the public; and  
*Applicant's Response:*

This project will not adversely affect the health or safety of the public.

4. Will adequately address the review factors identified below.

*Applicant's Response:*

Yes, the proposed use will adequately address the review factors below.

## **B. Review Factors**

The applicant shall demonstrate that the review factors listed below have been adequately addressed.

### **1. Circulation**

Number and location of access points to the property and the proposed structures and uses, with particular reference to automotive, bicycle, mass transit and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.

*Applicant's Response:*

This hotel project has one proposed full access driveway located on Hillsborough Road, and a right-out only driveway located along the Hillandale-Hillsborough Connector. NCDOT is investigating whether or not they will allow the proposed west driveway access. There is a ramp along one side of the property connecting Hillandale Road to Hillsborough Road. There is also a bridge nearby on Hillsborough Road. There is NCDOT Controlled Access along the north and east perimeters of the property, which prevents additional driveways in those areas. This project consists of one proposed hotel building and a parking lot. A proposed sidewalk will connect the site to the existing sidewalk on Hillsborough Road. There is a bus stop located near the property, and ample bicycle parking will be provided. Additional traffic will be generated, as would be expected for a hotel with 84 bedrooms.

### **2. Parking and Loading**

Location of off-street parking and loading areas.

*Applicant's Response:*

An off-street parking area will be provided. One loading space is proposed inside the public right-of-way of Hillsborough Street.

### **3. Service Entrances and Areas**

Locations of refuse and service areas with particular reference to ingress and egress of service vehicles.

*Applicant's Response:*

Service entrances will be located on the south side of the building, as well as in the lower level garage. Service vehicles may use the loading space or parking spaces. A garbage/recycling enclosure is proposed near the northeast corner of the property with a landscaped screen.

**4. Lighting**

Locations of exterior lighting with reference to glare, traffic safety, economic effect and compatibility with other property in the area.

*Applicant's Response:*

Exterior light pole locations are proposed in the parking lot. The lighting is designed to prevent glare onto neighboring roadways and properties and to comply with the City of Durham UDO.

**5. Signs**

Appropriateness of signs considering location, color, height, size, and design within the context of other property in the area.

*Applicant's Response:*

One monument sign is shown on Hillsborough Road. The sign will be designed by others in accordance with the City of Durham UDO, and will be permitted separately.

**6. Utilities**

Location and availability of utilities.

*Applicant's Response:*

The sanitary sewer service will use bore and jack under the Hillandale Road - Hillsborough Road Connector to the north and connect to the existing gravity sewer main. The domestic water service will connect to the existing water main on the Connector to the west. A proposed hydrant and fire sprinkler service connect to the existing City water main in the Hillandale Road - Hillsborough Road connector to the west.

**7. Open Spaces**

Location of required yards and other open spaces and preservation of existing trees and other natural features.

*Applicant's Response:*

Open space is not required for this commercial project. Proposed trees and yards are provided in the Landscape Plan in accordance with the City of Durham UDO.

**8. Environmental Protection**

Preservation of tree cover, Durham Inventory Sites, floodplain, stream buffers, wetlands, steep slopes, open space and other natural features, and protection of water quality.

*Applicant's Response:*

This site is not located in a Durham Inventory Site, floodplain, or stream buffer. There are no wetlands, steep slopes, or open space on the property. Trees are shown on the Landscape Plan. The stormwater report explains the proposed stormwater control measures, which will protect water quality. This project intends to utilize a rainwater harvesting facility in order to meet the City's stormwater quality requirements.

**9. Screening, Buffering and Landscaping**

Installation of screening, buffering, fencing and landscaping where necessary to protect adjacent property.

*Applicant's Response:*

Buffers are not required for this commercial project. Appropriate screening, fencing, and landscaping is provided in the Landscape Plan in accordance with the City of Durham UDO.

**10. Effect on Adjacent Property**

Effects of the proposed use on nearby properties, including, but not limited to, the effects of noise, odor, lighting, and traffic.

*Applicant's Response:*

This project will not create any unusual amount of noise or odor. Lighting will be shielded to prevent glare onto adjacent property. Additional traffic will be generated as would be expected by a new hotel with 95 bedrooms. We have confirmed with the City of Durham Transportation Department that a TIA is not required.

**11. Compatibility**

The level of general compatibility with nearby properties and impacted neighborhoods, including but not limited to the appropriateness of the scale, design, and use in relationship to other properties.

*Applicant's Response:*

This hotel project will be compatible with nearby properties, which are mostly commercial. The project will be aesthetically pleasing, and will therefore enhance the surrounding community.

**12. Consistency with Policy**

Consistency with the Comprehensive Plan and applicable development tier guidelines, overlay purposes, and zoning district intent statements in Article 4, Zoning Districts.

*Applicant's Response:*

This project is consistent with the Comprehensive Plan, as well as the Urban Development tier guidelines and OI zoning district intent statement. There are no overlay districts.

**13. Other Factors**

Any other review factors which the approving authority considers to be appropriate to the property in question.

None.

**NOTE:** Please address the requirements of any applicable "Limited Use Standards" or other special requirements of the use as an attachment of the application.

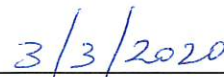
**Read and sign below:**

In granting a Minor or Major Use Permit, conditions may be placed to assure that adequate mitigation measures are associated with the use. The conditions shall become part of the special use permit approval. Violations of any of the conditions shall be treated in the same manner as other violations of the Ordinance. Furthermore, Special Use Permits shall become null and void in any of the following cases (Section 3.9.13 of the UDO):

- A. If a site plan is not approved within 12 months of the date of permit approval.
- B. If an approved site plan or building permit expires.
- C. If a building permit is not issued within two years of the date of approval, in cases where a site plan is not required.
- D. If a substantial violation of the conditions of the permit, as determined by the Planning Director or designee occurs. The addition of language to the special use permit regarding such voiding shall not be required.



**Applicant Signature**



**Date**



Planning

Durham City-County Planning Department

## REGISTRATION FOR BOARD OF ADJUSTMENT (BOA) PRE-SUBMITTAL CONFERENCE

### Registration for BOA Pre-Submittal Conference

Submittal Date: September 27, 2019

### Applicant Contact Information

Name: Stephen Ballentine, PE

Phone: 984-255-2367

Email: stephen.ballentine@timmons.com

- No BOA application submittals will be accepted unless the pre-submittal conference has been held. Appeals do not require a pre-submittal conference
- Applications are batched on the 2nd Monday of each Month. Applications are accepted by appointment only.

### Complete the required information below

Property Identification  
Number(s) or PIN(s):

0821-16-84-6824

Total  
Acreage:

1.10 AC

Existing  
Zone(s):

Office and Institutional (OI)

General Location/  
Address:

3114 Hillsborough Road, Durham, NC 27705

Proposed  
Development:

Hotel

Type of Application (please check):



Minor Special Use Permit



Variance



Major Special Use Permit



Appeal



Zoning Boundary Interpretation



Reasonable Accommodation

### For Internal Use:

Date Contacted:

Conference Scheduled For:

**Submit This Form**

City of Durham  
DSC - Development Services Center  
101 City Hall Plaza  
Durham, NC 27701  
919-560-1200  
The City of Durham

016314-0013 Marco R. 03/03/2020 02:16PM

**MISCELLANEOUS**

MOST BOA APPLICATIONS

(829)

2020 Item: 829

1 @ 1,683.00

MOST BOA APPLICATIONS

(829)

1,683.00

TECHNOLOGY SURCHARGE

(802)

2020 Item: 802

1 @ 52.00

TECHNOLOGY SURCHARGE

(802)

52.00

-----  
1,735.00

**Subtotal** 1,735.00

**Total** 1,735.00

CHECK 1,735.00

Check Number 1485

-----  
**Change due** 0.00

Paid by: York Investment LLC

Comments: York Investment LLC

Minor SUP

Thank you for your payment

CUSTOMER COPY



# TOWNEPLACE SUITES

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## LEVEL 4 SITE PLAN

3114 HILLSBOROUGH ROAD  
DURHAM, NC 27705  
DURHAM COUNTY, NORTH CAROLINA

## ARCHITECT CONTACT

OLIVE ARCHITECTURE  
F. THOMAS MURPHY  
N. HARRINGTON ST, STE 140  
RALEIGH, NC 27603  
PH. (919) 838-9934  
TOM@OLIVE-ARCH.COM

## OWNER/APPLICANT CONTACT

DUKE HOSPITALITY, LLC  
KETAN PATEL  
200 GATEWAY BLVD  
ROCKY MOUNT, NC 27804  
PH. (252) 410-1005  
HOTELSUSA@YAHOO.COM

## CIVIL ENGINEER

TIMMONS GROUP  
STEPHEN BALLENTINE, P.E.  
5410 TRINITY RD. STE 102  
RALEIGH, NC 27607  
PH. (984) 255-2367  
HEN.BALLENTINE@TIMMONS

**SURVEYOR**

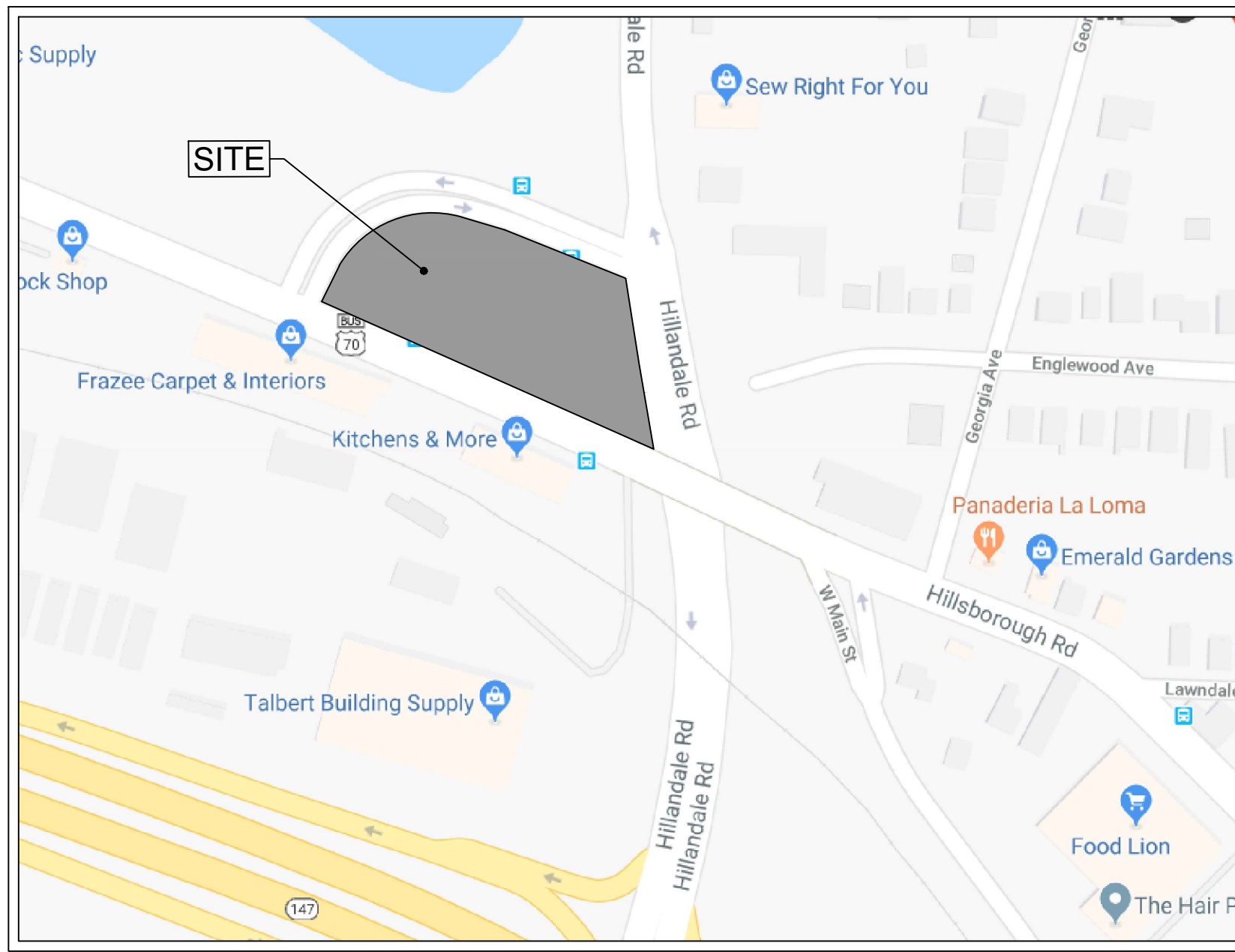
TIMMONS GROUP  
MARTIN WEBB  
5410 TRINITY RD. STE 102  
RALEIGH, NC 27607  
PH. (984) 255-2367  
MARTIN.WEBB@TIMMONS.COM

## SITE DATA TABLE

PIN NUMBER	0821-16-84-6824
PARCEL ID	119548
ADDRESS	3114 HILLSBOROUGH ROAD, DURHAM, NC 27705
TOTAL SITE AREA	1.10 AC
EXISTING ZONING	OI
OVERLAY DISTRICT	NONE
EXISTING USE	VACANT
PROPOSED USES AND FLOOR AREAS	
HOTEL (WITH 95 GUEST ROOMS)	NO RESTAURANT, BANQUET, OR CONFERENCE ROOM.
TOTAL FLOOR AREA	59,272 SF
PARKING REDUCTIONS	
DEDUCT	10% (URBAN TIER)
DEDUCT	5% (BUS STOPS NEARBY)
DEDUCT	5% (ADDITIONAL BIKE SPACES)
MIN. REQUIRED PARKING	1.25 SPACES/ROOM X 95 ROOMS = 119 SPACES - 20% REDUCTION (23) = 96 SPACES (MINIMUM)
MIN. REQUIRED HANDICAP PARKING	3 STANDARD HC + 1 VAN HC = 4 TOTAL
PROPOSED PARKING	
STANDARD	74
COMPACT	19 (19.5%)
VAN-ACCESSIBLE HANDICAP	1
STANDARD HANDICAP	3
TOTAL	97
MIN. REQUIRED LOADING SPACES:	1
LOADING SPACES PROVIDED:	1

MIN. REQUIRED BICYCLE PARKING	(1/15 ROOMS X 95 ROOMS) = 7 SPACES AND BIKE SPACES FOR PARKING REDUCTION: 5 VEHICLE SPACES X 6 = 30 BIKES 7 + 30 = 37 BIKES REQUIRED (UDO 10.3.1)
PROPOSED BICYCLE PARKING	38
BUILDING CONSTRUCTION TYPE	TYPE I-B
MAXIMUM ALLOWED BUILDING HEIGHT	90'
PROPOSED BUILDING HEIGHT	FROM LOWER LEVEL FFE TO TOP OF ROOF DECK = 82'-0" MAIN LEVEL FFE (HILLSBOROUGH RD) TO TOP OF ROOF DECK = 70'-0"
BUILDING STORIES	8 TOTAL (INCLUDES BASEMENT)
EXISTING IMPERVIOUS AREA	0.002 AC
PROPOSED ONSITE IMPERVIOUS AREA	0.924 AC = 40,250 SF (INCLUDES 0.050 AC IMPERVIOUS CONTINGENCY)
BUILD-TO-ZONE	1 <sup>st</sup> MAXIMUM BUILD-TO STREET YARD
TREE COVERAGE DATA	N/A
TIER	URBAN
CITY LIMITS	YES
RIVER BASIN	ELLERBE CREEK / FALLS LAKE / NEUSE RIVER
WATERSHED	FALLS LAKE (OUTSIDE OF FJI-A AND FJI-B)
DISTURBED AREA	1.65 AC

<b>EXISTING IMPERVIOUS:</b>	
ONSITE:	0.002 AC (0.18%)
OFFSITE:	0.075 AC
TOTAL:	0.077 AC
<b>PROPOSED IMPERVIOUS:</b>	
ONSITE (INCLUDES 0.05 AC IMPERVIOUS CONTINGENCY):	0.924 AC (83.8%)
OFFSITE:	0.244 AC
TOTAL:	1.168 AC
NET IMPERVIOUS INCREASE:	1.091 AC



## VICINITY MAP

## Sheet List Table

Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	GRADING AND DRAINAGE PLAN
C5.0	UTILITY PLAN
C5.2	SITE LIGHTING PLAN
C6.0	LANDSCAPE PLAN
C6.1	PERIMETER V.U.A. AND TREE CANOPY PLAN
C7.0	DETAIL SHEET
C7.1	DETAIL SHEET
C7.2	DETAIL SHEET
SD1	LOWER LEVEL PLAN
SD2	MAIN LEVEL PLAN
SD3	TYPICAL LEVEL PLAN
SD4	FRONT ELEVATION
SD5	SIDE ELEVATIONS
SD6	REAR ELEVATION

**SPECIAL CONDITIONS OF APPROVAL:**

1. FEMA FLOOD STUDY NOT REQUIRED: PROPERTY IS NOT LOCATED IN A 100 YEAR FLOODPLAIN PER FEMA FIRM 320002100K. EFFECTIVE 10/19/2018.

2. FINAL DESIGN CALCULATIONS FOR THE STORMWATER SCM FACILITY WILL REQUIRE THE USE OF STORAGE INDICATION ROUTING METHODOLOGY SUCH AS TR-20 OR HEW. THE MODEL FOR THE SCM FACILITY PROVIDES STAGE STORAGE RELATIONSHIP AND NOT TIME RELATIONSHIP. THEREFORE, THE DESIGN OF THE FACILITY INCLUDING CALCULATIONS SHOWING THE OUTLET UNDER NORMAL CONDITION, BARREL CONTROL, AND WEIR CONTROL, AS APPROPRIATE, TO REQUIRE THE USE OF THE ROUTING METHOD WAS DEVELOPED.

3. "AN EXISTING STORMWATER FACILITY OPERATION AND MAINTENANCE PERMIT AGREEMENT (PREPARED BY STORMWATER SERVICES, CITY OF DURHAM), PAYMENT OF STORMWATER MAINTENANCE FEE (PREPARED BY STORMWATER SERVICES, CITY OF DURHAM), AND MAINTENANCE AND OPERATION OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER."

4. APPROVAL:

A. "A CERTIFICATED STORMWATER (SCM) SCHEMATIC (SCMS), PROVIDED BY THE DESIGN ENGINEER, IS REQUIRED. THE AS-BUILT SHALL BE SUBMITTED PER THE REFERENCE GUIDE FOR DEVELOPMENT, APPROVED BY THE STORMWATER SERVICES DIVISION AND THE SCMS) SHALL BE INSPECTED AND APPROVED BY THE STORMWATER SERVICES DIVISION TO COMPLY WITH ANY CERTIFICATES OF OCCUPANCY OR CERTIFICATES OF COMPLIANCE FOR THE PROJECT."

B. "A CITY OF DURHAM CERTIFICATE OF OCCUPANCY (COO) SHALL BE REQUIRED FOR EACH STORMWATER SCM FACILITY NO LATER THAN AT THE FIRST CONSTRUCTION DRAWING SUBMITTAL. "STORMWATER BMP FACILITY DESIGN CALCULATIONS WILL NOT BE REVIEWED OR APPROVED WITH THE SITE PLAN/PERMITS/PLAT SUBMITTAL. ALL STORMWATER BMP FACILITY DESIGNS WILL BE REVIEWED AND APPROVED DURING THE CONSTRUCTION PERMITTING PROCESS."

C. "A PUBLIC SIDEWALK EASEMENT FOR ALL REQUIRED SIDEWALK ON THE PRIVATE PROPERTY IS REQUIRED PRIOR TO THE ISSUANCE OF ANY PERMIT. ALL PERMITTING PERMITS SHALL BE SUBMITTED PRIOR TO ISSUANCE OF A BUILDING PERMIT. DEDICATE A PUBLIC ACCESS EASEMENT FOR THE FRONTAGE OF THE SITE AS ILLUSTRATED ON SHEET 022. A COPY OF THE RECORDED PLAT MUST BE SUBMITTED TO THE CITY OF DURHAM AND THEIR ASSIGNS HAVE RIGHT OF ACCESS TO THE PERMANENT STORMWATER CONTROL MEASURES (BIOTRETIONMENT AND UNDERGROUND DETENTION) FOR THE PERMANENT MAINTENANCE OF THE FACILITY. THE CITY OF DURHAM WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE FACILITY. THE CITY OF DURHAM WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE FACILITY AS WELL AS ENFORCEMENT OF OPERATION & MAINTENANCE. ANY OBSTRUCTION PLACED IN THE BLANKET EASEMENT THAT IMPEDES NECESSARY MAINTENANCE ENFORCEMENT WILL BE REMOVED AND ALL THE ASSOCIATED COSTS WILL BE BORNE SOLELY BY THE OWNER."

D. "THE FULLY COMPLETED AND SIGNED AND DATED CERTIFICATE CODES (AN 11-7-2009 AND CHAPTER 11.1 OF THE NCBC) UNLESS AND EXCEPT IN AREAS WHERE AN APPROVED STATEMENT FROM A SITE ENGINEER, SURVEYOR OR ARCHITECT VERIFIES THAT THE CONDITIONS EXIST WHERE THE TOPOGRAPHY OF THE SITE IS EXTREME AND ONLY ALTERNATE METHODS OF CONSTRUCTION POSSIBLE TO MAINTAIN THE REQUIRED SLOPES AND WIDTHS. THE STATEMENT SHALL BE SIGNED AND DATED BY THE ENGINEER OR ARCHITECT AND SHALL BE SUBMITTED WITH THE CERTIFYING THAT ALL SITE ACCESSIBILITY CODE REQUIREMENTS SUCH AS CURB CUTS, RAMP SLOPES, SIDEWALK SLOPES AND WIDTHS, AND CROSS SLOPES MEET THE REQUIREMENTS OF THE NCBC AND THE CITY OF DURHAM."

E. "ENGINEER'S STATEMENT OF ADJACENT ACCESSIBILITY: THE EXISTING GRADIES IN THE PAVEMENT AND SHOULDERS OF HILLANODE ROAD - HILLSBOROUGH ROAD CONNECTION EXCEED 5% SLOPES. THEREFORE, THOSE STRAINS AND SIDEWALKS ARE NOT ADJACENT ACCESSIBLE COMPLIANT IN THE EXISTING CONDITION AND THEY WILL NOT BE ADJACENT ACCESSIBLE COMPLIANT IN THE POST CONSTRUCTION CONDITION. THE EXISTING GRADIES IN THE PAVEMENT AND SHOULDERS OF HILLANODE ROAD - HILLSBOROUGH ROAD CONNECTION EXCEED 5% SLOPES. THEREFORE, THOSE STRAINS AND SIDEWALKS ARE NOT ADJACENT ACCESSIBLE COMPLIANT IN THE EXISTING CONDITION AND THEY WILL NOT BE ADJACENT ACCESSIBLE COMPLIANT IN THE POST CONSTRUCTION CONDITION. THE EXISTING GRADIES IN THE PAVEMENT AND SHOULDERS OF HILLANODE ROAD - HILLSBOROUGH ROAD CONNECTION EXCEED 5% SLOPES. THEREFORE, THOSE STRAINS AND SIDEWALKS ARE NOT ADJACENT ACCESSIBLE COMPLIANT IN THE EXISTING CONDITION AND THEY WILL NOT BE ADJACENT ACCESSIBLE COMPLIANT IN THE POST CONSTRUCTION CONDITION. 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[illegible]

### GENERAL CONDITIONS OF APPROVAL

- THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONTINGENCY FLOOD HAZARD AREAS, AS SHOWN ON FIRM PLAN 372002-100K DATED 10/19/2018.
- LANDSCAPE ARCHITECTURE SHALL NOT BE USED AS MULCH OR GROUND COVER WITHIN TEN FEET OF ANY STRUCTURES CONSIDERED OF EXTERIOR COMBUSTIBLE CONSTRUCTION AS SPECIFIED BY DUMRIAN CITY CODE SECTION 46-04.
- LANDSCAPE ARCHITECTURE C. STANDARDS NOTE:** ALL LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF COMPLIANCE. CONTACT DURHAM CITY COUNTY PLANNING DEPARTMENT SITE DESIGN AND PLANNING STAFF FOR MORE INFORMATION.
- LANDSCAPE INSPECTION REQUIREMENTS:** EACH LANDSCAPING COMPLIANCE INSPECTION AFTER THE INITIAL INSPECTION WILL INCUR A RE-INSPECTION FEE. PAYMENT MUST BE RECEIVED BY THE DURHAM CITY COUNTY PLANNING DEPARTMENT BEFORE THE RE-INSPECTION CAN BE SCHEDULED.
- STREET TREE NOTE:** ON ALL PRELIMINARY AND FINAL PLANS WHERE TREES WILL BE PLANTED: STREET TREES MEETING THE REQUIREMENTS OF UDO SECTION 9.6 SHALL BE PLANTED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE. UNLESS THE PLANTING HAS BEEN POSTPONED IN ACCORDANCE WITH THE REQUIREMENTS OF UDO SEC. 9.11.
- STREET LIGHTING NOTE:** EXTERIOR LIGHTING DEVICES SHALL BE PROVIDED TO LIGHTEN SIDEWALKS AND TO LIGHTEN DRIVEWAYS AND GARAGE TOWARD THE ROAD. MOTOR VEHICLE OPERATORS SHALL BE INDICATED ON THE SITE PLAN. EXTERIOR LIGHTS SHALL BE SHIELDED SO THAT THEY DO NOT CAST DIRECT LIGHT BEYOND THE PROPERTY LINE. IN ACCORDANCE WITH THESE STANDARDS:
1. THE MAXIMUM ILLUMINATION AT THE EDGE OF THE PROPERTY LINE ADJACENT TO NONRESIDENTIAL ZONING IS 0.5 FOOT CANDLES.
2. THE MAXIMUM ILLUMINATION AT THE EDGE OF THE PROPERTY LINE ADJACENT TO STREET IS 6.0 FOOT CANDLES.
3. THE MAXIMUM ILLUMINATION AT THE EDGE OF THE PROPERTY LINE ADJACENT TO STREET IS 6.0 FOOT CANDLES.
4. THE MAXIMUM ILLUMINATION AT THE EDGE OF THE PROPERTY LINE ADJACENT TO STREET SHALL MEET THE STANDARDS IN THE TABLE IN UDO SECTION 7.4 WITH MINIMUM AND MAXIMUM LEVELS MEASURED ON THE PAVEMENT WITHIN THE LIGHTED AREA.
5. THE MAXIMUM HEIGHT FOR DIRECTIONAL, OR FILL OUT-OF-LOOKING FIXTURES (FIXTURES DESIGNED TO INSURE THAT NO LIGHT IS EMITTED ABOVE A HORIZONTAL LINE PARALLEL TO THE GROUND) SHALL BE 30 FEET ABOVE GROUND, MEASURED TO THE TOP OF THE FIXTURE.
6. THE MAXIMUM HEIGHT FOR NON DIRECTIONAL LIGHTING FIXTURES, WHICH ARE DEFINED AS FIXTURES DESIGNED TO ALLOW LIGHT TO BE EMITTED ABOVE A HORIZONTAL LINE PARALLEL TO THE GROUND, SHALL BE 15 FEET ABOVE GROUND, MEASURED TO THE TOP OF THE FIXTURE.
7. THESE STANDARDS MUST BE VERIFIED BY FIELD SURVEY (USE OF PHOTOGRAPHIC SURVEILLANCE) PRIOR TO THE CERTIFICATE OF COMPLIANCE BEING ISSUED. ALL OF THIS INFORMATION, INCLUDING DETAILS, SHALL BE INCLUDED ON THE PLANS PRIOR TO THE ISSUANCE OF BUILDING PERMIT.
- FIRE NOTE:** TO BE INCLUDED ON COVER SHEET.
- TEMPORARY OR PERMANENT ROADWAYS OF ALL WEATHER DRIVING SURFACE, CAPABLE OF SUPPORTING A 7500 POUND VEHICLE WEIGHT, SHALL BE ESTABLISHED PRIOR TO THE COMMENCEMENT OF BUILDING CONSTRUCTION ACTIVITIES. THESE ROADWAYS SHALL BE:**
1. ALL POINTS ALONG THE PERIMETER OF A BUILDING UNDER CONSTRUCTION IS NO GREATER THAN 150 FEET TRAVEL DISTANCE FROM A ROADWAY.
  2. FIRE DEPARTMENT CONNECTIONS (FDC), EITHER TEMPORARY OR PERMANENT, ARE NO GREATER THAN 150 FEET TRAVEL DISTANCE FROM A ROADWAY.
  3. TEMPORARY WEATHER-RESISTANT TRUCK PAVING OF STANDARD OR NON-STANDARD WIDTHS SHALL BE PROVIDED TO ALL INTERSECTIONS OF TEMPORARY ROADWAYS AND SHALL REMAIN IN PLACE UNTIL REPLACED BY PERMANENT BARS.
  4. TEMPORARY WEATHER-RESISTANT SIDEWALKS SHALL BE PLACED IN SERVICE AND MADE AVAILABLE TO THE FIRE DEPARTMENT AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON SITE. NO CONSTRUCTION FENCING OR OTHER BARRIERS ARE TO BE PLACED BETWEEN THE ROADWAY AND THE SIDEWALKS, WITH MINIMUM 3 FEET WORKING CLEARANCE AROUND HYDRANTS. HYDRANT SERVICE SHALL BE FENCED WITH THE FENCES OF CONSTRUCTION.
  5. ALL POINTS ALONG THE PERIMETER OF A BUILDING UNDER CONSTRUCTION IS NO GREATER THAN 500 FEET TRAVEL DISTANCE FROM A HYDRANT.
  6. FIRE DEPARTMENT CONNECTIONS (FDC), EITHER TEMPORARY OR PERMANENT, ARE NO GREATER THAN 50 FEET TRAVEL DISTANCE FROM A HYDRANT.
- FOR CONSTRUCTION AND EROSION CONTROL:**
1. A SEDIMENTATION AND EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED PRIOR TO THE ISSUANCE OF A LAND-DISTURBANCE PERMIT.
  2. IF AN OFFSITE SOIL SLOPE OR BORROW SITE IS UTILIZED, THEN THE DISTURBED AREA FOR THE SPOIL/BORROW SITE MUST BE INCLUDED IN THE LAND-DISTURBANCE PLAN AND PERMIT UNLESS THE SPOIL/BORROW SITE IS ALREADY HAS A LAND-DISTURBANCE PERMIT.
- SOLID WASTE MANAGEMENT:**
1. SOLID WASTE CAPACITY.
  2. TRUCKS WILL UTILIZE TRUCK RAMP FREQUENCY OF COLLECTION WILL BE SUFFICIENT TO PREVENT THE ILLEGAL PLACEMENT OF TRASH AND RECYCLES.
  3. TWO RECYCLING ROLL CARTS ARE PROVIDED OUTSIDE THE BUILDING.
- BY REFERENCE ROADWAY IMPROVEMENTS ON THE PLAN, THE APPLICANT AGREES TO CONSTRUCT ASD IMPROVEMENTS PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY IN A MANNER THAT WILL ALLOW THEM TO FUNCTION AS NOTED ON THE PLAN AND IN ACCORDANCE WITH NCODT AND CITY OF DURHAM STANDARDS AND POLICIES. THIS INCLUDES (WHERE APPROPRIATE) BUT IS NOT LIMITED TO: CONSTRUCTION OF SIDEWALKS, DRIVEWAYS, AND PARKING AREAS, AND TRUCK RAMP IMPROVEMENTS. THE APPLICANT ALSO ACCEPTS THE FINANCIAL RESPONSIBILITY FOR ACQUISITION OF ANY ADDITIONAL RIGHT-OF-WAY NECESSARY TO CONSTRUCT THESE IMPROVEMENTS.
11. THE LOCATION OF THE SIDEWALK SHOWN ON THIS PLAN IS SCHEMATIC. A CITY OF DURHAM AND NCODT ENCROACHMENT PERMIT IS REQUIRED PRIOR TO ANY CONSTRUCTION. AFTER OBTAINING THE REQUIRED ENCROACHMENT PERMIT, THE CITY OF DURHAM ENGINEERING CONSTRUCTION INSPECTION OFFICE AT 565-4230 FOR A PRE-CONSTRUCTION MEETING AND FIELD VISIT TO ANY WORK ON THE PROPOSED SIDEWALK.

APPROVAL STAMPS (CASE #D1900376)

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF DURHAM,  
NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



KNOW WHAT'S BELOW.  
CALL 811 BEFORE YOU DIG.

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
SITE PLAN SET-  
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THIS DRAWING PREPARED AT THE  
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TEL 919.866.4951 FAX 919.833.8124 [www.timmons.com](http://www.timmons.com)

YOUR VISION ACHIEVED THROUGH OURS.

DESIGNED BY  
S. BALLENTINE

	
	CHECKED BY

	S. BALLENTINE
	SCALE

SCALE  
AS SHOWN

**MMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
**TOWNEPLACE SUITES - HILLSBOROUGH RD**  
DURHAM - DURHAM COUNTY - NORTH CAROLINA  
**COVER SHEET**

JOB NO.  
41352.003

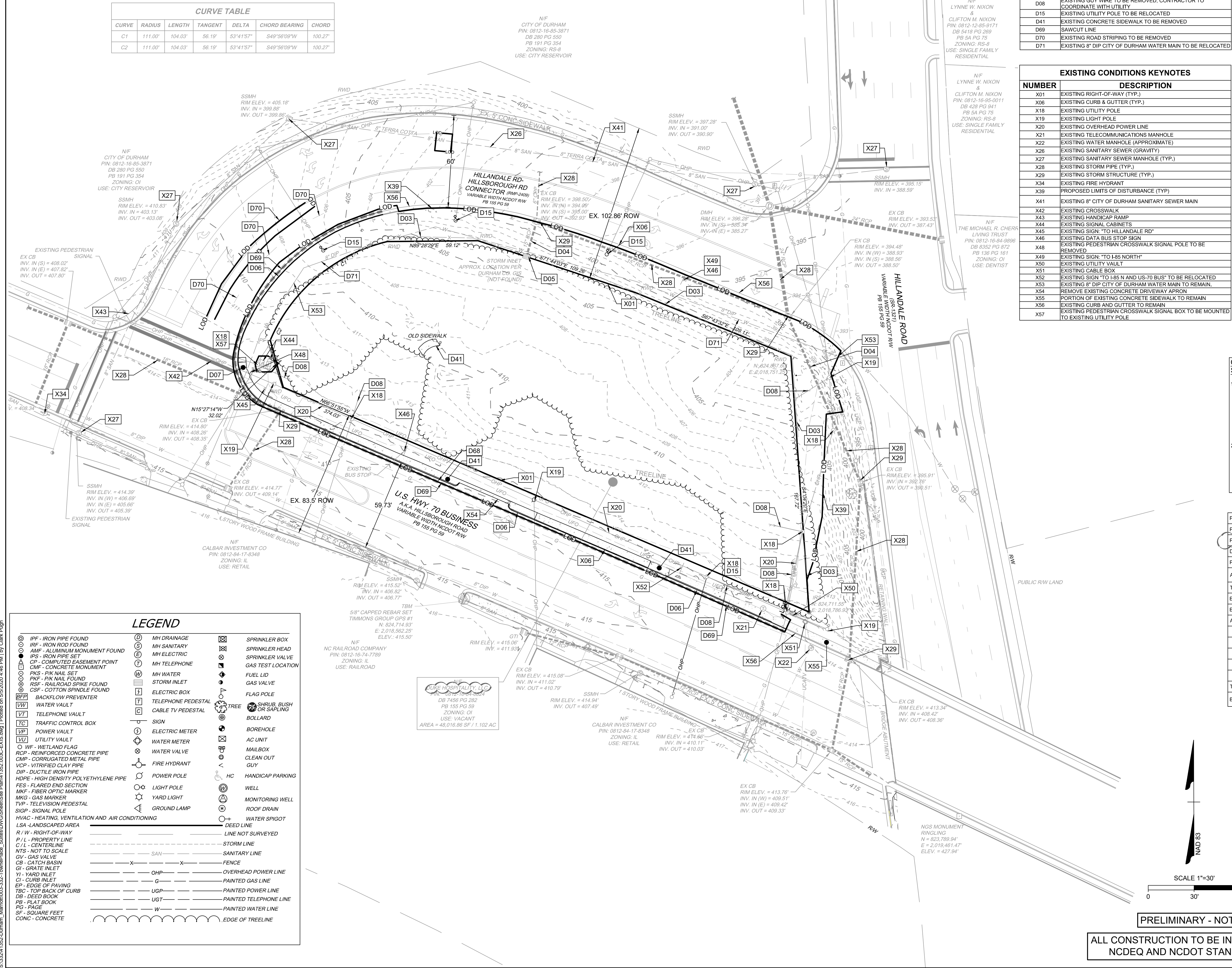
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LEGEND			
IPF - IRON PIPE FOUND	MH DRAINAGE	SPRINKLER BOX	
IRF - IRON ROD FOUND	MH SANITARY	SPRINKLER HEAD	
AMF - ALUMINUM MONUMENT FOUND	MH ELECTRIC	SPRINKLER VALVE	
IPS - IRON PIPE SET	MH TELEPHONE	GAS TEST LOCATION	
CP - COMPUTED EASEMENT POINT	MH WATER	FUEL LID	
CMF - CONCRETE MONUMENT	STORM INLET	GAS VALVE	
PKS - PK NAIL SET	ELECTRIC BOX	FLAG POLE	
PKF - PK NAIL FOUND	TELEPHONE PEDESTAL	SHRUB, BUSH	
RSF - RAILROAD SPIKE FOUND	CABLE TV PEDESTAL	OR SAPLING	
CSF - COTTON SPINDLE FOUND	SIGN	BOLLARD	
BFP - BACKFLOW PREVENTER	ELECTRIC METER	BOREHOLE	
WV - WATER VAULT	WATER METER	AC UNIT	
TV - TELEPHONE VAULT	WATER VALVE	MAILBOX	
TC - TRAFFIC CONTROL BOX	FIRE HYDRANT	CLEAN OUT	
VP - POWER VAULT	GUY	GUY	
UV - UTILITY VAULT	POWER POLE	HC HANDICAP PARKING	
WF - WETLAND FLAG	LIGHT POLE	WELL	
RCF - REINFORCED CONCRETE PIPE	YARD LIGHT	MONITORING WELL	
CMF - CORRUGATED METAL PIPE	GROUND LAMP	ROOF DRAIN	
VCP - VITRIFIED CLAY PIPE		WATER SPIGOT	
DIP - DUCTILE IRON PIPE		DEED LINE	
HDPE - HIGH DENSITY POLYETHYLENE PIPE		LINE NOT SURVEYED	
FES - FLARED END SECTION		STORM LINE	
MKF - FIBER OPTIC MARKER		SANITARY LINE	
MKG - GAS MARKER		FENCE	
TVP - TELEVISION PEDESTAL		OHP - OVERHEAD POWER LINE	
SIGP - SIGNAL POLE		PAINTED GAS LINE	
LSA - LANDSCAPED AREA		UGP - PAINTED POWER LINE	
R/W - RIGHT-OF-WAY		UGT - PAINTED TELEPHONE LINE	
P/L - PROPERTY LINE		W - PAINTED WATER LINE	
C/L - CENTERLINE		EDGE OF TREELINE	
NTS - NOT TO SCALE			
GV - GAS VALVE			
CB - CATCH BASIN			
GI - GRATE INLET			
YI - YARD INLET			
CI - CURB INLET			
EP - EDGE OF PAVING			
TBC - TOP BACK OF CURB			
DB - DEED BOOK			
PB - PLAT BOOK			
PG - PAGE			
SF - SQUARE FEET			
CONC - CONCRETE			



FLOODPLAIN NOTE:  
ACCORDING TO FEMA FIRM MAP #3720081200K PANEL 0812 DATED 10/19/2018, THERE IS NO REGULATORY FLOODPLAIN ON THIS PROPERTY.

GENERAL CONTRACTOR:  
NOT ALL EXISTING UTILITIES ARE SHOWN ON THIS PLAN. PRIOR TO BEGINNING ANY CONSTRUCTION, FIELD SURVEY VERIFY LOCATION, DEPTH, TYPE, SIZE, MATERIAL, AND CONDITION OF ALL EXISTING UTILITIES IN THE WORK AREA. NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES OR CONFLICTS.

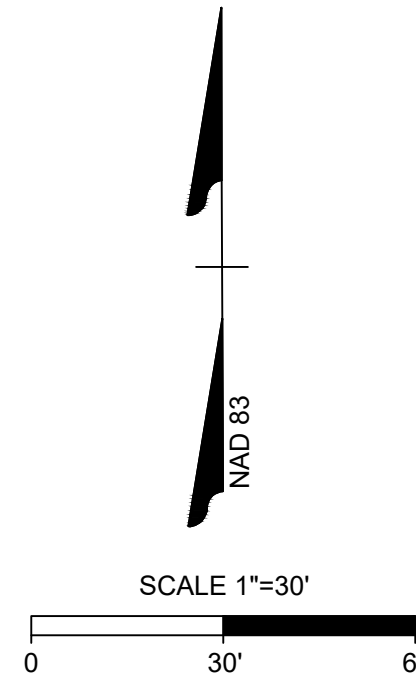
DEMOLITION KEYNOTES	
NUMBER	DESCRIPTION
D03	EXISTING CHAIN LINK FENCE TO BE REMOVED (TYP.)
D04	EXISTING STORM PIPE TO BE REMOVED
D05	EXISTING STORM STRUCTURE TO BE REMOVED
D06	EXISTING CURB & GUTTER TO BE REMOVED (TYP.)
D07	EXISTING HANDCAP RAMP TO BE REMOVED
D08	EXISTING GUY WIRE TO BE REMOVED, CONTRACTOR TO COORDINATE WITH UTILITY
D15	EXISTING UTILITY POLE TO BE RELOCATED
D41	EXISTING CONCRETE SIDEWALK TO BE REMOVED
D69	SAWCUT LINE
D70	EXISTING ROAD STRIPING TO BE REMOVED
D71	EXISTING 8" DIP CITY OF DURHAM WATER MAIN TO BE RELOCATED

EXISTING CONDITIONS KEYNOTES	
NUMBER	DESCRIPTION
X01	EXISTING RIGHT-OF-WAY (TYP.)
X06	EXISTING CURB & GUTTER (TYP.)
X18	EXISTING UTILITY POLE
X19	EXISTING LIGHT POLE
X20	EXISTING OVERHEAD POWER LINE
X21	EXISTING TELECOMMUNICATIONS MANHOLE
X22	EXISTING WATER MANHOLE (APPROXIMATE)
X26	EXISTING SANITARY SEWER (GRAVITY)
X27	EXISTING SANITARY SEWER MANHOLE (TYP.)
X28	EXISTING STORM PIPE (TYP.)
X29	EXISTING STORM STRUCTURE (TYP.)
X34	EXISTING FIRE HYDRANT
X39	PROPOSED LIMITS OF DISTURBANCE (TYP.)
X41	EXISTING 8" CITY OF DURHAM SANITARY SEWER MAIN
X42	EXISTING CROSSWALK
X43	EXISTING HANDCAP RAMP
X44	EXISTING SIGNAL CABINETS
X45	EXISTING SIGN: 'TO HILLDALE RD'
X46	EXISTING DATA BUS STOP SIGN
X48	EXISTING PEDESTRIAN CROSSWALK SIGNAL POLE TO BE REMOVED
X49	EXISTING SIGN: 'TO I-85 NORTH'
X50	EXISTING UTILITY VAULT
X51	EXISTING CABLE BOX
X52	EXISTING SIGN TO I-85 N AND U.S. 70 BUS' TO BE RELOCATED
X53	EXISTING 8" DIP CITY OF DURHAM WATER MAIN TO REMAIN
X54	REMOVE EXISTING CONCRETE DRIVEWAY APRON
X55	PORTION OF EXISTING CONCRETE SIDEWALK TO REMAIN
X56	EXISTING CURB AND GUTTER TO REMAIN
X57	EXISTING PEDESTRIAN CROSSWALK SIGNAL BOX TO BE MOUNTED TO EXISTING UTILITY POLE

- SURVEY NOTES:**
- THE TOPOGRAPHIC INFORMATION CONTAINED HEREIN IS BASED ON SURVEY PERFORMED BY TIMMONS GROUP.
  - ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
  - THIS SURVEY DOES NOT REPRESENT A TITLE SURVEY BY THIS FIRM.
  - RIGHTS-OF-WAY INFORMATION IS BASED ON DEEDS AND MAPS OF RECORD.
  - BASES OF BEARING SHOWN HEREON IS NC GRID NAD 83 (2011).
  - VERTICAL DATUM SHOWN HEREON IS NAVD88
- EXISTING CONDITIONS NOTES:**
- OTHER SOURCES OF INFORMATION INCLUDE CITY OF DURHAM GIS AND AERIAL IMAGERY.
  - THE UTILITIES ON THESE PLANS ARE APPROXIMATE ONLY, AND ARE NOT ACCURATE FOR CONSTRUCTION PURPOSES. FOR FIELD MARKS CALL 811.
- DEMOLITION NOTES:**
- ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
  - ALL WASTE MATERIAL GENERATED FROM CLEARING AND DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
  - REMOVE TOPSOIL AND STOCKPILE APPROPRIATELY ON-SITE. ON-SITE TEMPORARY STOCKPILES SHALL BE LOCATED WITHIN CONSTRUCTION LIMITS.
  - ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT WITH NEW CONSTRUCTION. ANY EXISTING PAVEMENT, SIDEWALK, CURB & GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH EXISTING CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED). UTILITY INSTALLATIONS MAY UTILIZE OPEN CUT OF PAVEMENTS UNLESS INDICATED OTHERWISE. TRENCH IN EXISTING ASPHALT SHALL BE PATCHED PER PAVEMENT REPAIR DETAIL.
  - PROTECT ALL ADJACENT PROPERTIES. THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGE OCCUR, NOTIFY ARCHITECT IMMEDIATELY.
  - THE CONTRACTOR SHALL USE NC ONE CALL (811) TO LOCATE ALL UNDERGROUND UTILITIES.
  - VERIFY ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND OSHA REGULATIONS.
  - EXISTING MANHOLES, VALVE BOXES, VAULTS, CLEANOUTS, UTILITY POLES TO REMAIN WITHIN THE GRADING LIMITS SHALL BE ADJUSTED AS NEEDED TO FUNCTION PROPERLY WITH THE PROPOSED FINISHED GRADES (WHETHER OR NOT INDICATED TO BE MODIFIED).
  - GENERAL CONTRACTOR TO COORDINATE ALL PEDESTRIAN ACCESS PATHS, LOCATIONS, LIGHTING ETC. WITH THE OWNER.
  - CONTRACTOR TO COORDINATE ALL WORK AS NEEDED WITH UTILITY COMPANIES, MUNICIPALITY, AND INSPECTORS.
  - CONTRACTOR TO COORDINATE ALL DEMOLITION WORK AS NEEDED WITH UTILITY COMPANIES AND MUNICIPALITIES. ALL WORK SHALL BE IN COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
  - CONTRACTOR TO CONFIRM LOCATION OF ALL ONSITE UTILITY SERVICES AND COORDINATE REMOVAL AS NEEDED.

- CITY OF DURHAM STANDARD WATER AND SEWER SERVICE ABANDONMENT NOTES:**
- ABANDONMENT OF WATER SERVICES SHALL INCLUDE EXCAVATING DOWN TO CORPORATION STOP, TURNING IT OFF AND CUTTING SERVICE LINE FREE FROM CORPORATION STOP. THE METER, IF PRESENT, SHALL BE RETURNED TO CITY OF DURHAM. PRIOR TO ANY CREDIT OR REFUND BEING PROCESSED THE METER MUST BE RETURNED TO WATER MANAGEMENT DEPARTMENT AND THE METER NUMBER VERIFIED AND CODED PROPERLY AS RETURNED. UTILITY SERVICE ABANDONMENT WILL TAKE PLACE PRIOR TO BEGINNING UTILITY CONSTRUCTION WORK FOR A PROJECT. ANY EXCAVATION AS PART OF ABANDONING UTILITIES WILL REQUIRE BACKFILLING PER CITY OF DURHAM STANDARDS.
  - ABANDONMENT OF SANITARY SEWER SERVICE LINES SHALL CONSIST OF EXCAVATING DOWN TO THE SERVICE CONNECTION TO THE MAIN, CUTTING THIS CONNECTION AND INSTALLING A WATERIGHT PLUG IN THE MAIN. THE SERVICE LINE AND ALL CLEAN-OUT RISERS ON THE SERVICE LINE SHALL BE REMOVED. UTILITY SERVICE ABANDONMENT WILL TAKE PLACE PRIOR TO BEGINNING UTILITY CONSTRUCTION WORK FOR A PROJECT. ANY EXCAVATION AS PART OF ABANDONING UTILITIES WILL REQUIRE BACKFILLING PER CITY OF DURHAM STANDARDS.

EXISTING CONDITIONS DATA TABLE	
PIN NUMBER	0812-16-84-6824
PARCEL ID	119548
PROPERTY OWNER	DUKE HOSPITALITY LLC
DEED BOOK AND PAGE	DB 7456 PG 282
PLAT BOOK AND PAGE	BM 155 PG 59
ADDRESS	3114 HILLSBOROUGH RD DURHAM NC 27705
TOTAL SITE AREA	1.101 ACRES
EXISTING ZONING	OI
EXISTING USE	VACANT
ADJACENT USES	
NORTH	COD WASTEWATER TREATMENT PLANT
SOUTH	RETAIL
EAST	DENTIST OFFICE
WEST	VACANT/WOODS
NORTHEAST	SINGLE-FAMILY RESIDENTIAL
TIER	URBAN
BUILD-TO ZONE	15' FROM R/W



PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF DURHAM, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

5/1/2020

SITE PLAN SET - NOT RELEASED FOR CONSTRUCTION

THIS DRAWING PREPARED AT THE  
**Raleigh Office**  
53410 Trinity Road, Suite 102 | Raleigh, NC 27607  
TEL 919.866.9511 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	DATE
NCDOT COMMENTS	2/13/2020
CITY OF DURHAM SITE PLAN SUBMITTAL #2	3/3/2020
CITY OF DURHAM CONSTRUCTION DRAWINGS SUBMITTAL #1	4/3/2020
DURHAM COUNTY EROSION CONTROL SUBMITTAL #1	4/17/2020
CITY OF DURHAM SITE PLAN SUBMITTAL #3	5/1/2020

DATE: 09/27/2019

DRAWN BY: C. PUGH

DESIGNED BY: S. BALLENTINE

CHECKED BY: S. BALLENTINE

SCALE: AS SHOWN

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**TOWNEPLACE SUITES - HILLSBOROUGH RD**  
DURHAM - DURHAM COUNTY - NORTH CAROLINA

**EXISTING CONDITIONS AND DEMOLITION PLAN**

JOB NO. 41352.003

SHEET NO. C1.0

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S:\3324\1352-Durham\_Marriott\003-332-TownPlace\_Suites\DWG\Sheet\Site Plan\41352-003C-SITE.dwg | Printed on 5/6/2020 4:47 PM | by Clark Pugh

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C1	111.00'	104.03'	56.19'	53°41'57"	S49°56'09"W	100.27'
C2	111.00'	104.03'	56.19'	53°41'57"	S49°56'09"W	100.27'

N/F  
CITY OF DURHAM  
PIN: 0812-16-85-3871  
DB 280 PG 550  
PB 191 PG 354  
ZONING: RS-8  
USE: CITY RESERVOIR

N/F  
CITY OF DURHAM  
PIN: 0812-16-85-3871  
DB 280 PG 550  
PB 191 PG 354  
ZONING: OI  
USE: CITY RESERVOIR

SIDE YARD 10' BLDG SETBACK

HILLDALE RD-  
HILLSBOROUGH RD  
CONNECTOR (RMP-2408)  
VARIABLE WIDTH NCDOT RW  
PB 155 PG 59

PROPOSED BUILDING

ADA ACCESSIBLE ROUTE

BUS STOP

U.S. HWY. 70 BUSINESS  
A.K.A. HILLSBOROUGH ROAD  
VARIABLE WIDTH NCDOT RW  
PB 155 PG 59

N/F  
CALBAR INVESTMENT CO  
PIN: 0812-84-17-8348  
ZONING: IL  
USE: RETAIL

TBM  
5" CAPPED REBAR SET  
TIMMONS GROUP GPS #1  
N: 824,714.93'  
E: 2,018,592.25'  
ELEV.: 416.50'

N/F  
NC RAILROAD COMPANY  
PIN: 0812-16-74-7789  
ZONING: IL  
USE: RAILROAD

N/F  
DUKE HOSPITALITY, LLC.  
PIN: 0812-16-84-6824  
DB 7456 PG 282  
PB 155 PG 59  
ZONING: OI  
USE: VACANT  
AREA = 48,016.86 SF / 1,102 AC

N/F  
CALBAR INVESTMENT CO  
PIN: 0812-84-17-8348  
ZONING: IL  
USE: RETAIL

N/GS MONUMENT  
RINGLING  
N = 823,789.94'  
E = 2,019,461.47'  
ELEV.: 427.94'

PUBLIC ACCESS EASEMENT FOR SIDEWALK NOTE:  
CERTIFICATION OF EXPRESS DEDICATION FOR PUBLIC USE  
PUBLIC SIDEWALKS ARE PROPOSED ALONG SOUTH MANGUM STREET, EAST LAKEWOOD AVENUE AND MANGUM-ROXBORO CONNECTOR ("SIDEWALKS") ARE EXPRESSLY DEDICATED TO USE BY THE GENERAL PUBLIC. UPON CONSTRUCTION OF THE SIDEWALKS IN CONFORMANCE WITH ALL APPLICABLE REQUIREMENTS, CITY COUNCIL MAY ACCEPT THE SIDEWALKS FOR MAINTENANCE BY THE CITY OF DURHAM ("CITY"). ACCEPTANCE OF THE SIDEWALKS BY CITY COUNCIL CONVEYS THE RIGHT IN, OVER, UNDER, AND THROUGH THE SIDEWALKS, NECESSARY FOR THE CITY AND ITS AGENTS AND CONTRACTORS, TO MAINTAIN AND REPAIR THE SIDEWALKS IN THE CITY'S SOLE DISCRETION. THE RIGHT OF INGRESS/EGRESS TO THE SIDEWALKS FROM THE PUBLIC RIGHT OF WAY IS ALSO GRANTED TO THE CITY SO THE CITY CAN MAINTAIN AND REPAIR THE SIDEWALKS AFTER ACCEPTANCE. THE CITY IN ITS SOLE DISCRETION HAS THE RIGHT TO DETERMINE THE POINTS OF INGRESS AND EGRESS FROM THE PUBLIC RIGHT OF WAY NECESSARY TO PERFORM MAINTENANCE OR REPAIR AFTER ACCEPTANCE.

## SITE LAYOUT KEYNOTES

NUMBER	DESCRIPTION
S05	PROPOSED BUILDING; SEE ARCHITECTURAL PLANS
S09	PROPOSED CONCRETE ADA STALL (TYP.)
S10	TRASH ENCLOSURE WITH 1 GARBAGE DUMPSTER AND 3 RECYCLING ROLL CARTS. SEE DETAIL. ENCLOSURE EXTERIOR TO BE CONSISTENT WITH BUILDING EXTERIOR AND COLOR. TOP OF GATE AND TOP OF ENCLOSURE SHALL EXTEND A MINIMUM OF 6 INCHES ABOVE THE TOP OF THE DUMPSTER. SEE DETAIL.
S12	TRANSITION 24" TO 30" CURB AND GUTTER WITHIN 10' OF ROW
S23	PROPOSED 30" CURB & GUTTER (PUBLIC RIGHT-OF-WAY ONLY); SEE DETAIL
S31	24" CONCRETE CURB & GUTTER (PRIVATE PROPERTY ONLY)
S32	ADA ACCESSIBLE RAMP; SEE RAMP DETAILS
S40	MATCH EXISTING PAVEMENT ELEVATION
S42	DETECTABLE WARNINGS PER ADA REQUIREMENTS (TYP.)
S46	PARKING STALL STRIPING (PER LOCAL CODES) (TYP.)
S50	ADA SIGNAGE R7-8A (MUTCD) AND PER LOCAL CODE (TYP.)
S61	VAN ACCESSIBLE PARKING SIGN (TYPICAL - PER ADA AND LOCAL REQUIREMENTS)
S62	"STOP" SIGN MUTCD R1-1
S63	RIGHT TURN ONLY SIGN; R3-5 (MUTCD)
S64	DIRECTIONAL TRAFFIC ARROW (PER LOCAL CODES)
S68	LIGHT POLE (TYP. - PER LIGHTING PLAN)
S78	SIDEWALKS IN PUBLIC ROW PER CITY OF DURHAM STANDARDS; SEE DETAIL AND CITY SPECIFICATIONS (TYP.) 6.5' WIDE TO CURB FACE
S79	6" CONCRETE BOLLARD (TYP.) SEE DETAIL
S80	CONCRETE WHEEL STOP (TYP.)
S82	PROPOSED CONCRETE SIDEWALK (TYP.) SEE DETAIL
S84	PROPOSED SEGMENTAL RETAINING WALL TO BE DESIGNED BY OTHERS STRUCTURAL ENGINEER. 42" HIGH PEDESTRIAN SAFETY RAIL REQUIRED ATOP WALL WHEREVER WALL HEIGHT EXCEEDS 30".
S85	PROPOSED CAST-IN-PLACE STEEL REINFORCED RETAINING WALL TO BE DESIGNED BY OTHERS STRUCTURAL ENGINEER. 42" HIGH PEDESTRIAN SAFETY RAIL REQUIRED ATOP WALL WHEREVER WALL HEIGHT EXCEEDS 30".
S86	SIDEWALK FLUSH WITH PAVEMENT (NO CURB)
S88	DRIVE AISLE ASPHALT PAVING; SEE DETAIL
S89	PARKING STALL ASPHALT PAVEMENT; SEE DETAIL
S94	TRANSITION FROM 8" HIGH CURB TO 8" LF (SIDEWALK FLUSH WITH PAVEMENT OVER 8 FEET)
S101	"COMPACT" STRIPED PARKING PER MUTCD.
S102	CONCRETE DRIVEWAY APRON W/ INTEGRAL SIDEWALK PER CITY OF DURHAM SPECIFICATIONS
S104	EXISTING UTILITY POLE
S105	10' X 70' SIGHT TRIANGLE
S107	PROPOSED SITE ID SIGN TO BE DESIGNED AND PERMITTED SEPARATELY BY OTHERS
S112	LIGHT-DUTY CONCRETE PAVEMENT
S115	PROPOSED GROUND MOUNT TRANSFORMER BY UTILITY COMPANY
S116	PROPOSED GROUND MOUNT GAS GENERATOR; SEE PLANS BY OTHERS.
S130	LOADING SPACE
S131	FUTURE BUS STOP PAD & RETAINING WALL TO BE CONSTRUCTED BY CITY OF DURHAM PROJECT SW-46D.
S132	FUTURE SIDEWALK TO BE CONSTRUCTED BY CITY OF DURHAM PROJECT SW-46D.
S133	FUTURE CROSSWALK AND STOP BAR STRIPING TO BE CONSTRUCTED BY CITY OF DURHAM PROJECT SW-46D.
S134	FUTURE ADA RAMP TO BE CONSTRUCTED BY CITY OF DURHAM PROJECT SW-46D.
S136	"DO NOT ENTER" SIGN MUTCD R5-1
S137	VEHICULAR GUARDRAIL. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO OWNER.
S140	CONCRETE STAIRS WITH HANDRAILS PER CODE REQUIREMENTS. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO OWNER.
S141	RELOCATE EXISTING SIGN "TO H-5 N AND US-70 BUS" OF DRIVEWAY AND SIDEWALK
S142	CONTRACTOR TO COORDINATE WITH UTILITY COMPANY TO RELOCATE EXISTING UTILITY POLE OUT OF PROPOSED DRIVEWAY AND SIDEWALK
S143	CONTRACTOR TO RELOCATE EXISTING STREET LIGHT POLE AWAY FROM PROPOSED SIDEWALK AND WATER MAIN EXTENSION.
S145	PROPOSED CITY OF DURHAM PUBLIC SIDEWALK EASEMENT
S147	INVERTED "U" BIKE RACK (TYP.). SEE DETAIL
S148	SIGN: BICYCLE PARKING IS LOCATED IN THE LOWER LEVEL GARAGE PARKING AREA
S149	PROPOSED 4" WIDE NCDOT MONOLITHIC CONCRETE MEDIAN
S150	PROPOSED CANOPY. REFER TO BUILDING PLANS.
S164	RELOCATE EXISTING BUS STOP SIGN
S180	ENTRANCE DIRECTIONAL SIGN
S181	EXIT DIRECTIONAL SIGN
S162	PROPOSED CITY OF DURHAM WATER MAIN EASEMENT MEASURED 12.5' FROM WATER MAIN

N/F  
LYNNE W. NIXON &  
CLIFTON M. NIXON  
PIN: 0812-12-85-9171  
DB 5418 PG 269  
PB 5A PG 75  
ZONING: RS-8  
USE: SINGLE FAMILY RESIDENTIAL

N/F  
LYNNE W. NIXON &  
CLIFTON M. NIXON  
PIN: 0812-16-85-0011  
DB 428 PG 941  
PB 5A PG 75  
ZONING: RS-8  
USE: SINGLE FAMILY RESIDENTIAL

N/F  
THE MICHAEL R. CHERR  
LIVING TRUST  
PIN: 0812-16-84-9898  
DB 6352 PG 872  
PB 136 PG 161  
ZONING: RS-8  
USE: DENTIST

SCALE 1"=30'

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF DURHAM, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

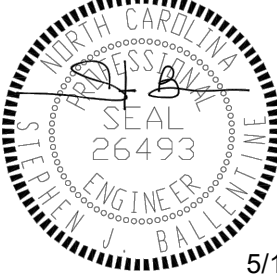
## SITE DATA TABLE

PIN NUMBER	0821-16-84-6824
PARCEL ID	119548
ADDRESS	3114 HILLSBOROUGH ROAD, DURHAM, NC 27705
TOTAL SITE AREA	1.10 AC
EXISTING ZONING	OI
OVERLAY DISTRICT	NONE
EXISTING USE	VACANT
PROPOSED USES AND FLOOR AREAS	
HOTEL (WITH 95 GUEST ROOMS)	NO RESTAURANT, BANQUET, OR CONFERENCE ROOM.
TOTAL FLOOR AREA	59,272 SF
PARKING REDUCTIONS	
DEDUCT	10% (URBAN TIER)
DEDUCT	5% (BUS STOPS NEARBY)
DEDUCT	5% (ADDITIONAL BIKE SPACES)
MIN. REQUIRED PARKING	1.25 SPACES/ROOM X 95 ROOMS = 119 SPACES - 20% REDUCTION (23) = 96 SPACES (MINIMUM)
MIN. REQUIRED HANDICAP PARKING	3 STANDARD HC + 1 VAN HC = 4 TOTAL
PROPOSED PARKING	
STANDARD	74
COMPACT	19 (19.5%)
VAN-ACCESSIBLE HANDICAP	1
STANDARD HANDICAP	3
TOTAL	97
MIN. REQUIRED LOADING SPACES	1
LOADING SPACES PROVIDED	1
MIN. REQUIRED BICYCLE PARKING	(1/15 ROOMS X 95 ROOMS) = 7 SPACES ADD BIKE SPACES FOR PARKING REDUCTION: 5 VEHICLE SPACES X 6 = 30 BIKES 7 + 30 = 37 BIKES REQUIRED (UDO 10.3.1)
PROPOSED BICYCLE PARKING	38
BUILDING CONSTRUCTION TYPE	TYPE I-B
MAXIMUM ALLOWED BUILDING HEIGHT	90'
PROPOSED BUILDING HEIGHT	FROM LOWER LEVEL FFE TO TOP OF ROOF DECK = 82'-0" MAIN LEVEL FFE (HILLSBOROUGH RD) TO TOP OF ROOF DECK = 70'-0"
BUILDING STORIES	8 TOTAL (INCLUDES BASEMENT)
EXISTING IMPERVIOUS AREA	0.002 AC
PROPOSED ONSITE IMPERVIOUS AREA	0.004 AC = 40,256 SF (INCLUDES 0.050 AC IMPERVIOUS CONTINGENCY)
BUILD-TO-ZONE	15' MAXIMUM BUILD-TO-STREET YARD
TREE COVERAGE DATA	N/A
TIER	URBAN
CITY LIMITS	YES
RIVER BASIN	ELLERBE CREEK / FALLS LAKE / NEUSE RIVER
WATERSHED	FALLS LAKE (OUTSIDE OF FJ-A AND FJ-B)
DISTURBED AREA	1.65 AC

## SITE LAYOUT NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DURHAM AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVING, BUILDING WALL FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
- AT LEAST 72 HOURS PRIOR TO CONSTRUCTION OR EXCAVATION THE CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811) OR (1-800-632-4949) TO HAVE EXISTING UTILITIES LOCATED.
- STANDARD PARKING SPACES ARE 8.5' WIDE X 18' LONG MINIMUM EXCEPT HANDICAP SPACES WHICH ARE 8.0' WIDE MINIMUM WITH 8.0' VAN ACCESS AND 5.0' STANDARD ACCESS AISLES. COMPACT PARKING SPACES ARE 7.5' WIDE X 14' LONG MINIMUM.
- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF THE BUILDING.
- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONAL CONFLICTS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ALL CURB AND GUTTER ONSITE SHALL BE 24" WIDE. ALL CURB AND GUTTER IN THE PUBLIC RIGHT OF WAY SHALL BE 30" WIDE.
- TRANSITION FROM 30" TO 24" CURB AND GUTTER IS TO OCCUR ON-SITE. THIS TRANSITION SHALL BE 10' LONG IMMEDIATELY ADJACENT TO PUBLIC RIGHT OF WAY.
- ALL DISTURBED CURB & GUTTER, SIDEWALK AND ASPHALT SHALL BE REPLACED PER CITY OF DURHAM OR NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DRIVEWAY DESIGN AND CONSTRUCTION MUST COMPLY WITH CITY OF DURHAM STANDARDS.
- NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.
- THE LOCATION OF THE SIDEWALK SHOWN ON THIS PLAN IS SCHEMATIC. A CITY OF DURHAM AND/OR NCDOT ENCROACHMENT PERMIT IS REQUIRED PRIOR TO ANY CONSTRUCTION. AFTER OBTAINING THE REQUIRED PERMITS, PLEASE CONTACT THE CITY OF DURHAM ENGINEERING CONSTRUCTION INSPECTION OFFICE AT 919-560-4326 FOR A PRE-CONSTRUCTION CONFERENCE AND FIELD VISIT PRIOR TO ANY WORK ON THE PROPOSED SIDEWALK.

FLOODPLAIN NOTE:  
ACCORDING TO FEMA FIRM MAP #37208R1200K PANEL 0812 DATED 10/19/2018, THERE IS NO REGULATORY FLOODPLAIN ON THIS PROPERTY.



SITE PLAN SET-  
NOT RELEASED FOR CONSTRUCTION

THIS DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
5410 Trinity Road, Suite 102 | Raleigh, NC 27607  
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE  
2/13/2020  
3/3/2020  
4/3/2020  
4/17/2020  
5/1/2020

DATE  
09/27/2019

DRAWN BY  
C. PUGH

DESIGNED BY  
S. BALLENTINE

CHECKED BY  
S. BALLENTINE

SCALE  
AS SHOWN

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**TOWNEPLACE SUITES - HILLSBOROUGH RD**  
DURHAM - DURHAM COUNTY - NORTH CAROLINA

SITE PLAN

JOB NO.  
41352.003

SHEET NO.  
C2.0

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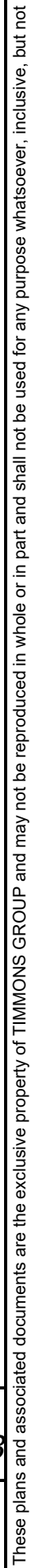
## UTILITY NOTES

1. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811)
2. ALL UNDERGROUND FEATURES NOTICED ON THE PLANS SHOWN FIELD PRIOR TO CONSTRUCTION. NOTIFY THE DESIGN ENGINEER
3. CONTRACTOR SHALL COORDINATE THE LOCATION OR RELOCATION OF ALL UTILITIES WITH THE APPROPRIATE UTILITY OWNERS AND SECURE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS
4. ALL ILLUSTRATED UTILITY INFRASTRUCTURE IS DIAGRAMMATIC. DESIGN ENGINEER IMMEDIATELY IF ANY CONFLICTS OR DISCREPANCIES ARE NOTICED PRIOR TO CONSTRUCTION SHALL BE REPORTED TO THE STANDARDS AND SPECIFICATIONS.
5. ALL WATER METERS SHALL BE PROVIDED AND INSTALLED BY THE CITY OF DURHAM
6. METERS WILL BE THE SAME SIZE IN DIAMETER AS THE SERVICE LINE
7. A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND ALL WATER METERS
8. UTILITY TRENCHES SHALL BE CUT AND PAVEMENT REPAIRED TO MEET THE CITY OF DURHAM STANDARDS AND SPECIFICATIONS
9. ALL CONCRETE WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DURHAM AND NCODT STANDARDS AND SPECIFICATIONS.
10. PROVIDE FIRE PLANS EXAMINER ONE COPY OF UTILITY CONSTRUCTION APPEARANCES. PERMIT FOR INSTALLATION OF PRIVATE FIRE ALARMS
11. CONTRACTOR TO PROVIDE TRAFFIC & PEDESTRIAN CONTROL DURING CONSTRUCTION
12. PRIOR TO BEGINNING ANY UTILITY CONSTRUCTION, CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY OF DURHAM FOR REVIEW AND APPROVAL BY THE CITY OF DURHAM INSPECTORS.
13. PRIOR TO BEGINNING ANY CONSTRUCTION, CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULING PLAN TO THE CITY OF DURHAM FOR REVIEW AND APPROVAL BY THE CITY OF DURHAM INSPECTORS.
14. CONTRACTOR SHALL KEEP A COPY OF ALL PERMITS AND APPROVALS ON THE PROJECT SITE
15. PROPOSED WATERLINES SHALL BE PRESSURE TESTED, CHLORINATED AND DISINFECTED PRIOR TO CONSTRUCTION
16. CONTRACTOR TO COORDINATE ALL UTILITY CONSTRUCTION WITH THE CITY OF DURHAM
17. AT PROJECT COMPLETION, CONTRACTOR TO SUBMIT ASBUILT DRAWINGS TO THE CITY OF DURHAM
18. CITY OF DURHAM ENGINEERING INSPECTOR TO BE PRESENT AT PROJECT COMPLETION
19. PRIOR TO THE BEGINNING ANY CONSTRUCTION, CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULING PLAN TO THE CITY OF DURHAM FOR REVIEW AND APPROVAL BY THE CITY OF DURHAM INSPECTORS.
20. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES
21. PRIOR TO THE BEGINNING ANY CONSTRUCTION, CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULING PLAN TO THE CITY OF DURHAM FOR REVIEW AND APPROVAL BY THE CITY OF DURHAM INSPECTORS.

LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.  
IT SHOULD BE CONSIDERED APPROXIMATE IN LOCATION AND SHOULD BE VERIFIED IN THE FIELD IMMEDIATELY IF ANY CONFLICTS OR DISCREPANCIES ARE NOTED.  
LOCATION OF ALL OVERHEAD AND UNDERGROUND COMMUNICATION LINES, ELECTRIC AND GAS PIPES SHALL BE LOCATED PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE A RECORD DRAWING OF ALL UTILITIES TO THE CITY OF DURHAM.  
CONTRACTOR MAY NOT REPRESENT THE ACTUAL SIZE OF INFRASTRUCTURE. NOTIFY THE CITY OF DURHAM IMMEDIATELY IF ANY DISCREPANCIES ARE NOTED.  
IN ACCORDANCE WITH THE CITY OF DURHAM AND THE STATE OF NORTH CAROLINA, THE CITY OF DURHAM PUBLIC UTILITIES DEPARTMENT METERS DIVISION.  
THE FOLLOWING MATERIALS SHALL BE REPLACED:  
CITY OF DURHAM STANDARDS.  
ASPHALT, C&G, BRICK, TREES, SHRUBS, ETC) SHALL BE REPLACED ACCORDING TO CITY OF DURHAM STANDARDS.  
CONSTRUCTION DRAWINGS), SHOWING UNDERGROUND PIPING LAYOUT AND ALL FIRE HYDRANT(S). MUST BE ISSUED BY FIRE PLANS EXAMINER PRIOR TO INSTALLATION OF NEW UTILITY.  
PER CITY OF DURHAM & NCDOT STANDARDS.  
CONTRACTOR SHALL HOLD ONSITE PRE-CONSTRUCTION MEETING WITH CITY AND NCDOT REPRESENTATIVES.  
OBTAIN AND READ ALL PERMITS NECESSARY TO COMPLETE CONSTRUCTION.  
LATEST CONSTRUCTION DRAWING PLANS ONSITE THROUGHOUT CONSTRUCTION.  
DISINFECTED, BACTERIA TESTED AND FLUSHED PER CITY STANDARDS.  
PER CITY STANDARDS.  
WITH CITY AND NCDOT INSPECTORS.  
SURVEY OF ALL UTILITIES TO OWNER/ENGINEER PER CITY OF DURHAM REQUIREMENT DURING ALL WATER MAIN TAPS.  
CONTRACTOR SHALL VERIFY ALL UTILITY BUILDING CONNECTION SIZES AND LOCATIONS WITH

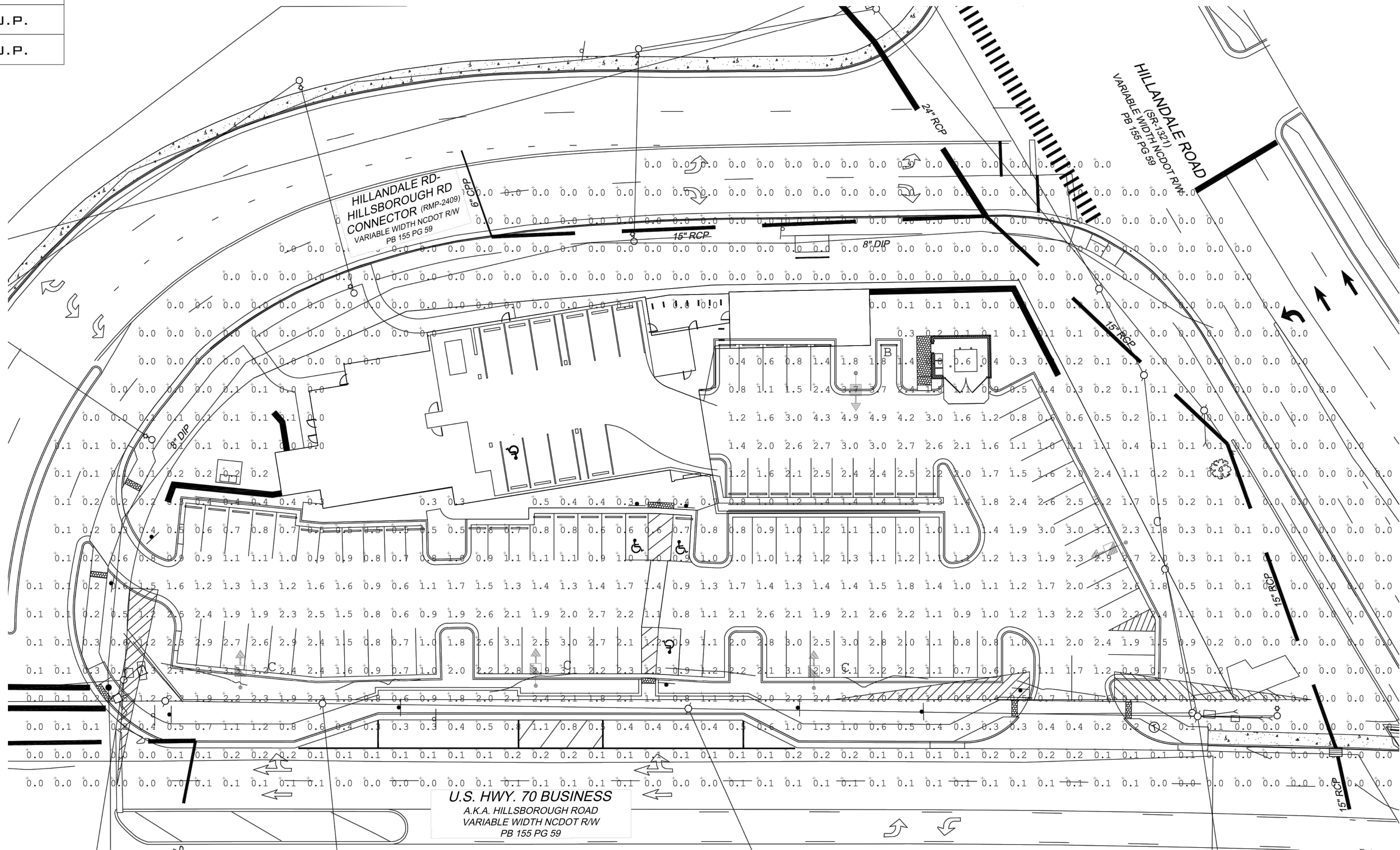
5. 

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF DURHAM NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS





REVISIONS		
REV #	DATE	BY:
1	10/2/19	J.P.
2	10/8/19	J.P.
3	2/27/20	J.P.



BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.

Calculation Summary								
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpclr	PtSpctb
PARKING	Fc	1.69	4.9	0.4	4.23	12.25	10	10

Luminaire Schedule							
WLS11702 TOWNEPLACE SUITES DURHAM, NC PM: HOLLY PLEASE EMAIL US FOR PRICING AT HOLLY@WLSLIGHTING.COM							
Symbol	Qty	Label	Lum. Lumens	LLF	Description	Lum. Watts	
•—▶	1	B	13389	0.980	WLS-OSQ-A-3ME-K-40K-BLS 25' MOUNTING HEIGHT	130	
•—▶	4	C	13032	0.980	WLS-OSQ-A-4ME-K-40K-BLS 25' MOUNTING HEIGHT	130	

## C5.2 SITE LIGHTING PLAN

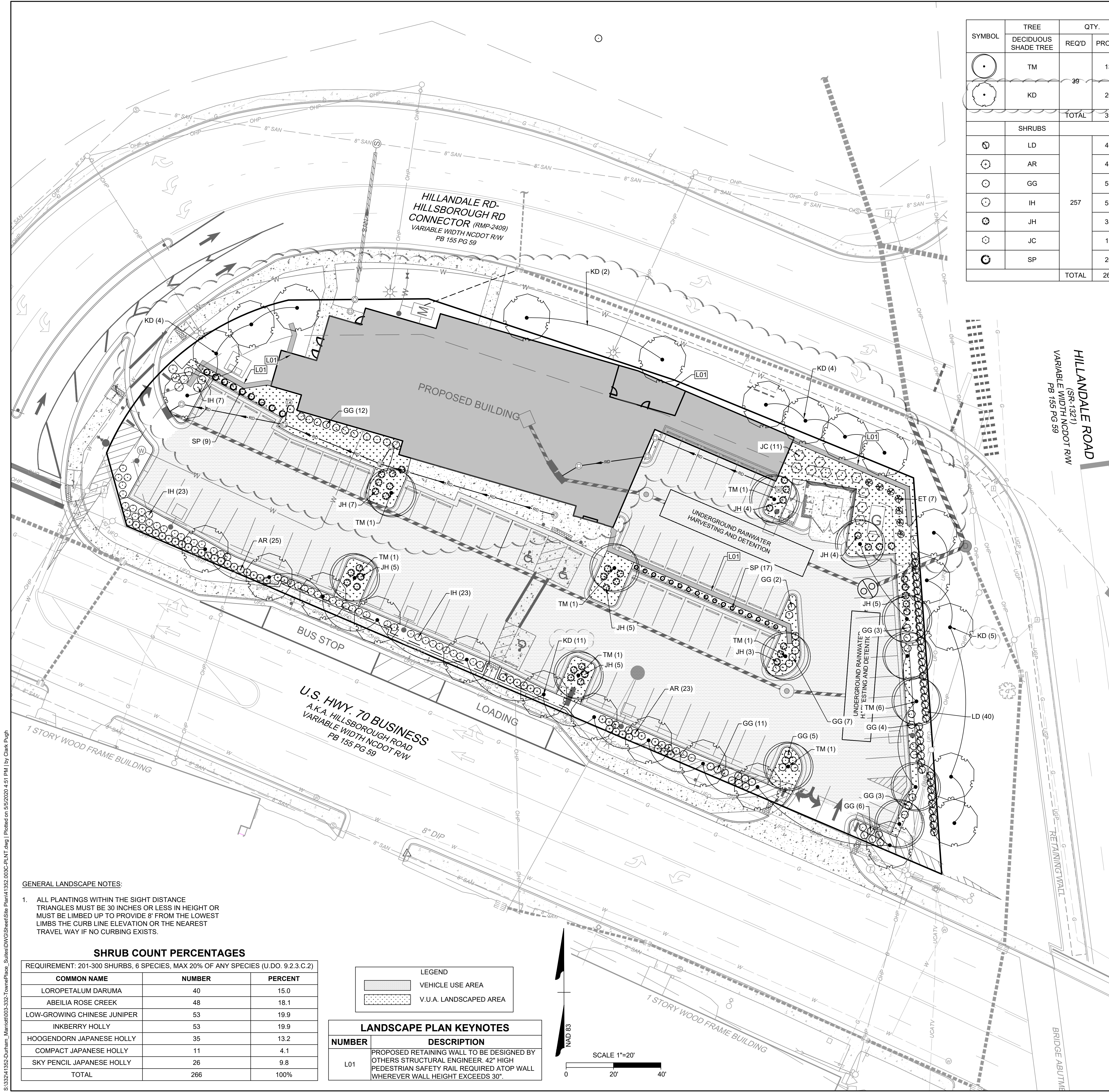
1919 WINDSOR PLACE  
FORT WORTH, TX 76110  
WWW.WLSLIGHTING.COM

**WLS** LIGHTING  
a WLS company

TOWNEPLACE SUITES  
DURHAM, NC



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GENERAL LANDSCAPE NOTES:

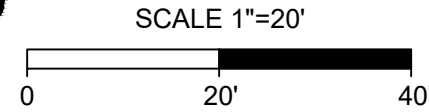
- 1. ALL PLANTINGS WITHIN THE SIGHT DISTANCE TRIANGLES MUST BE 30 INCHES OR LESS IN HEIGHT OR MUST BE LIMBED UP TO PROVIDE 8" FROM THE LOWEST LIMBS THE CURB LINE ELEVATION OR THE NEAREST TRAVEL WAY IF NO CURBING EXISTS.

SHRUB COUNT PERCENTAGES

REQUIREMENT: 201-300 SHRUBS, 6 SPECIES, MAX 20% OF ANY SPECIES (U.D.O. 9.2.3.C.2)		
COMMON NAME	NUMBER	PERCENT
LOROPETALUM DARUMA	40	15.0
ABELIA ROSE CREEK	48	18.1
LOW-GROWING CHINESE JUNIPER	53	19.9
INKBERRY HOLLY	53	19.9
HOOGENDORN JAPANESE HOLLY	35	13.2
COMPACT JAPANESE HOLLY	11	4.1
SKY PENCIL JAPANESE HOLLY	26	9.8
TOTAL	266	100%

LEGEND	
	VEHICLE USE AREA
	V.U.A. LANDSCAPED AREA

LANDSCAPE PLAN KEYNOTES	
NUMBER	DESCRIPTION
L01	PROPOSED RETAINING WALL TO BE DESIGNED BY OTHERS STRUCTURAL ENGINEER. 42" HIGH PEDESTRIAN SAFETY RAIL REQUIRED ATOP WALL WHEREVER WALL HEIGHT EXCEEDS 30".



PLANT SCHEDULE

SYMBOL	TREE	QTY.		BOTANICAL NAME	COMMON NAME	MIN. INSTALLATION SIZE	COMMENTS	REQUIRED ROOT AREA
	DECIDUOUS SHADE TREE	REQ'D	PROV'D					
	TM		13	ACER BUERGERIANUM	TRIDENT MAPLE	2.5" CAL.	V.U.A.	250 SF
	KD		26	CORNUS KOUSA	KOUSA DOGWOOD	2.5" CAL.	V.U.A., STREET TREES	250 SF
		TOTAL	39	NOTE: STREET TREES ARE BEING COUNTED TOWARDS THE VEHICULAR USE AREA PERIMETER LANDSCAPING.				
	SHRUBS							
	LD	257	40	LOROPETALUM CHINESE	LOROPETALUM DARUMA	15" HT.	V.U.A.	N/A
	AR		48	ABELIA X GRANDIFLORA	ABELIA ROSE CREEK	15" HT.	V.U.A.	N/A
	GG		53	JUNIPERUS CHINESIS 'GOLDEN GLOW'	LOW-GROWING CHINESE JUNIPER	15" HT.	V.U.A.	N/A
	IH		53	ILEX GLABRA 'NIGRA'	INKBERRY HOLLY	15" HT.	V.U.A.	N/A
	JH		35	ILEX CRENATA 'HOOGENDORN'	HOOGENDORN JAPANESE HOLLY	15" HT.	V.U.A.	N/A
	JC		11	ILEX CRENATA 'COMPACTA'	COMPACT JAPANESE HOLLY	15" HT.	V.U.A.	N/A
	SP		26	ILEX CRENATA 'SKY PENCIL'	SKY PENCIL JAPANESE HOLLY	15" HT.	V.U.A.	N/A
		TOTAL	266					

- CITY OF DURHAM STANDARD LANDSCAPE NOTES:
1. ALL LANDSCAPING SHALL CONFORM TO THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION STANDARDS FOR NURSERY STOCK, LATEST EDITION, AND THE DURHAM UDO.
  2. PROTECTION OF EXISTING VEGETATION (UDO SEC. 8.3): AT THE START OF GRADING INVOLVING THE LOWERING OF EXISTING GRADE AROUND A TREE OR STRIPPING OF TOPSOIL, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA PRIOR TO OR AT THE SAME TIME AS SILT FENCE AND OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA.
  3. PINE STRAW SHALL NOT BE USED AS MULCH OR GROUND COVER WITHIN TEN FEET OF ANY STRUCTURES CONSISTING OF EXTERIOR COMBUSTIBLE CONSTRUCTION AS SPECIFIED BY DURHAM CITY CODE SECTION 46-87.
  4. ALL LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF COMPLIANCE. CONTACT DURHAM CITY COUNTY PLANNING DEPARTMENT SITE COMPLIANCE STAFF FOR INSPECTION.
  5. EACH LANDSCAPING COMPLIANCE INSPECTION AFTER THE INITIAL INSPECTION WILL INCUR A RE-INSPECTION FEE. PAYMENT MUST BE RECEIVED BY THE DURHAM CITY COUNTY PLANNING DEPARTMENT PRIOR TO RE-INSPECTION.
  6. STREET TREES MEETING THE REQUIREMENTS OF UDO SECTION 9.6 SHALL BE PLANTED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE, UNLESS THE PLANTING HAS BEEN POSTPONED IN ACCORDANCE WITH THE REQUIREMENTS OF UDO SEC. 9.11.
  7. CONSTRUCTION IN PRESERVED TREE COVERAGE AREAS (UDO SECTION 8.3): A. PRESERVED TREE COVERAGE AREAS SHALL NOT BE USED FOR ACTIVE RECREATIONAL PURPOSES, EXCEPT FOR WALKING PATHS AND FOOT TRAILS CONSTRUCTED WITH MINIMAL DISTURBANCE OF TREE ROOTS AND EXISTING VEGETATION PROVIDED A REGISTERED ARBORIST HAS CERTIFIED THAT THE CONSTRUCTION OF THE TRAIL HAS BEEN DESIGNED TO MINIMIZE IMPACT TO THE EXISTING TREES. NO TREE OVER 10 INCHES SHALL BE REMOVED FOR THE CONSTRUCTION OF TRAILS. SITE PLAN APPROVAL IS REQUIRED FOR CONSTRUCTION OF TRAILS IN PRESERVED TREE COVERAGE AREAS. B. ALL BUILDINGS SHALL BE SET BACK AT LEAST 10 FEET FROM THE EDGE OF ANY PRESERVED TREE COVERAGE AREA. C. UTILITY LINES AND DRAINAGE CHANNELS SHALL BE MINIMIZED WITHIN THE ROOT PROTECTION ZONES OF THE TREES TO BE SAVED. PREFERABLY, SUCH FACILITIES SHOULD BE LOCATED ADJACENT TO DRIVEWAYS AND IN GROUPINGS ALLOWED BY SOUND ENGINEERING PRACTICES.
  8. TREE PROTECTION NOTE (UDO SEC. 8.3): TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY DEMOLITION, LAND DISTURBANCE, OR ISSUANCE OF A GRADING PERMIT AND SHALL INCLUDE WARNING SIGNS POSTED IN BOTH ENGLISH AND SPANISH, AS FOLLOWS: "NO TRESPASSING/TREE PROTECTION AREA/PROHIBIDO ENTRAR / ZONA PROTECTORA PARA LOS ARBOLES."
  9. ROOT PROTECTION ZONE (UDO SEC. 8.3): EQUALS ONE FOOT OF RADIUS FOR EVERY INCH OF DIAMETER OF EXISTING TREES, OR SIX FOOT RADIUS, WHICHEVER IS GREATER. NO DISTURBANCE ALLOWED WITHIN THIS AREA. AREA MUST BE PROTECTED WITH BOTH TREE PROTECTION FENCING AND WARNING SIGNS.
  10. CANOPY TREES SHALL BE PLANTED AT LEAST 18 FEET APART.
  11. DECIDUOUS UNDERSTORY TREES SHALL BE PLANTED AT LEAST 12 FEET APART.
  12. THE SPACING BETWEEN CANOPY AND DECIDUOUS UNDERSTORY TREES SHALL BE AT LEAST 6 FEET.
  13. TREE PLANTING AND SITE LIGHTING SHALL BE SEPARATED BY A MINIMUM OF 10 FEET.

CITY OF DURHAM LANDSCAPE REQUIREMENTS

REQUIREMENT	CALCULATION	REQUIRED
<b>VEHICULAR USE AREA (U.D.O. 9.8.3):</b>		
15% OF VEHICULAR USE AREA MUST BE LANDSCAPED	TOTAL V.U.A. = 24,653 S.F. x 0.15 = 3,698 S.F.	3,698 SF
1 TREE PER 2,000 S.F. OF V.U.A.	24,653 / 2,000 = 13 TREES	13 TREES
1 SHRUB PER 250 S.F. OF V.U.A.	24,653 / 250 = 99 SHRUBS	99 SHRUBS
<b>VEHICULAR USE AREA PERIMETER LANDSCAPING (U.D.O. 9.8.4):</b>		
<b>HILLSBOROUGH RD:</b>		
316 LF OF PARKING FRONTAGE	TREES: 316 / 40 = 8	8 TREES
1 TREE PER 40 LF OF PARKING FRONTAGE	SHRUBS: 316 / 3 = 106	106 SHRUBS
1 SHRUB PER 3 LF OF PARKING FRONTAGE	AREA: 316 LF X 6 FT = 1,896 SF	
<b>HILLDALE RD:</b>		
120 LF OF PARKING FRONTAGE	TREES: 120 / 40 = 3	3 TREES
1 TREE PER 40 LF OF PARKING FRONTAGE	SHRUBS: 120 / 3 = 40	40 SHRUBS
1 SHRUB PER 3 LF OF PARKING FRONTAGE	AREA: 120 LF X 6 FT = 720 SF	
<b>HILLSBOROUGH RD RAMP:</b>		
36 LF OF PARKING FRONTAGE	TREES: 36 / 40 = 1	1 TREES
1 TREE PER 40 LF OF PARKING FRONTAGE	SHRUBS: 36 / 3 = 12	12 SHRUBS
1 SHRUB PER 3 LF OF PARKING FRONTAGE	AREA: 36 LF X 6 FT = 216 SF	
<b>STREET TREES (U.D.O. 9.6.2):</b>		
40' O.C. AVG.	HILLSBOROUGH RD: 406 LF FRONTAGE 406 / 40 = 11 TREES	11 TREES
	HILLDALE RD: 167 LF FRONTAGE 167 / 40 = 5 TREES	5 TREES
	HILLSBOROUGH RD RAMP: 382 LF FRONTAGE 382 / 40 = 10 TREES	10 TREES

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

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SITE PLAN SET - NOT RELEASED FOR CONSTRUCTION

THIS DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
5410 Trinity Road, Suite 102 | Raleigh, NC 27607  
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	
NCDOT COMMENTS	
CITY OF DURHAM SITE PLAN SUBMITTAL # 2	
CITY OF DURHAM CONSTRUCTION DRAWINGS SUBMITTAL # 1	
DURHAM COUNTY EROSION CONTROL SUBMITTAL # 1	
CITY OF DURHAM SITE PLAN SUBMITTAL # 3	

DATE	DATE
2/13/2020	09/27/2019
3/3/2020	
4/3/2020	
4/17/2020	
5/1/2020	
DRAWN BY	
C. PUGH	
DESIGNED BY	
S. BALLENTEINE	
CHECKED BY	
S. BALLENTEINE	
SCALE	
AS SHOWN	

**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

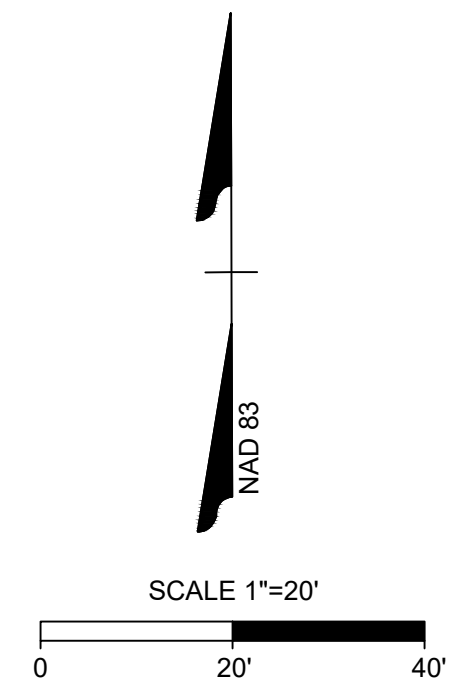
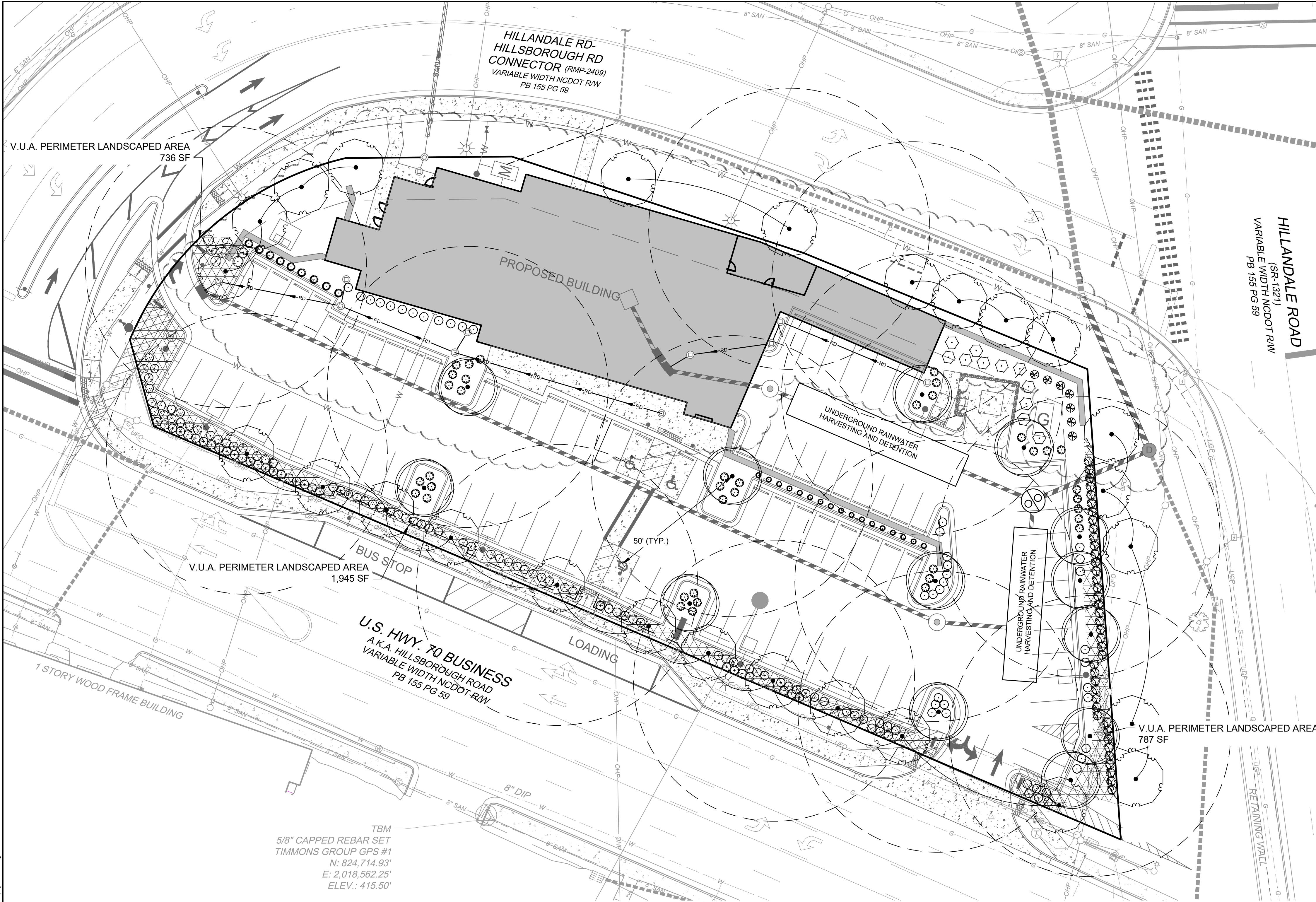
**TOWNEPLACE SUITES - HILLSBOROUGH RD**  
DURHAM - DURHAM COUNTY - NORTH CAROLINA  
**LANDSCAPE PLAN**

JOB NO.
41352.003
SHEET NO.
C6.0

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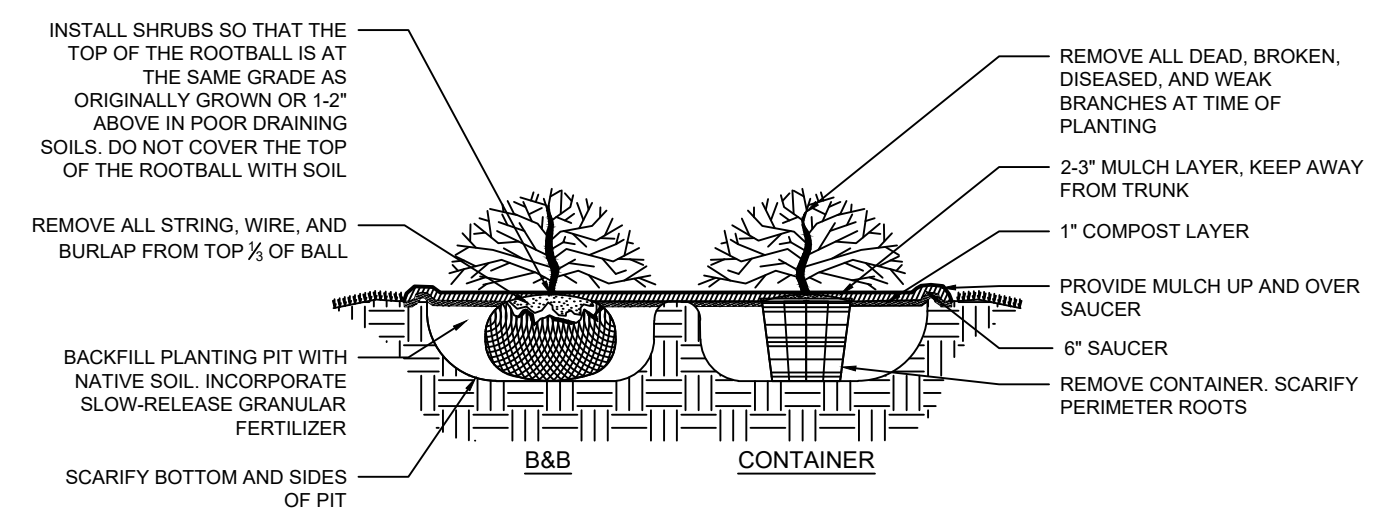


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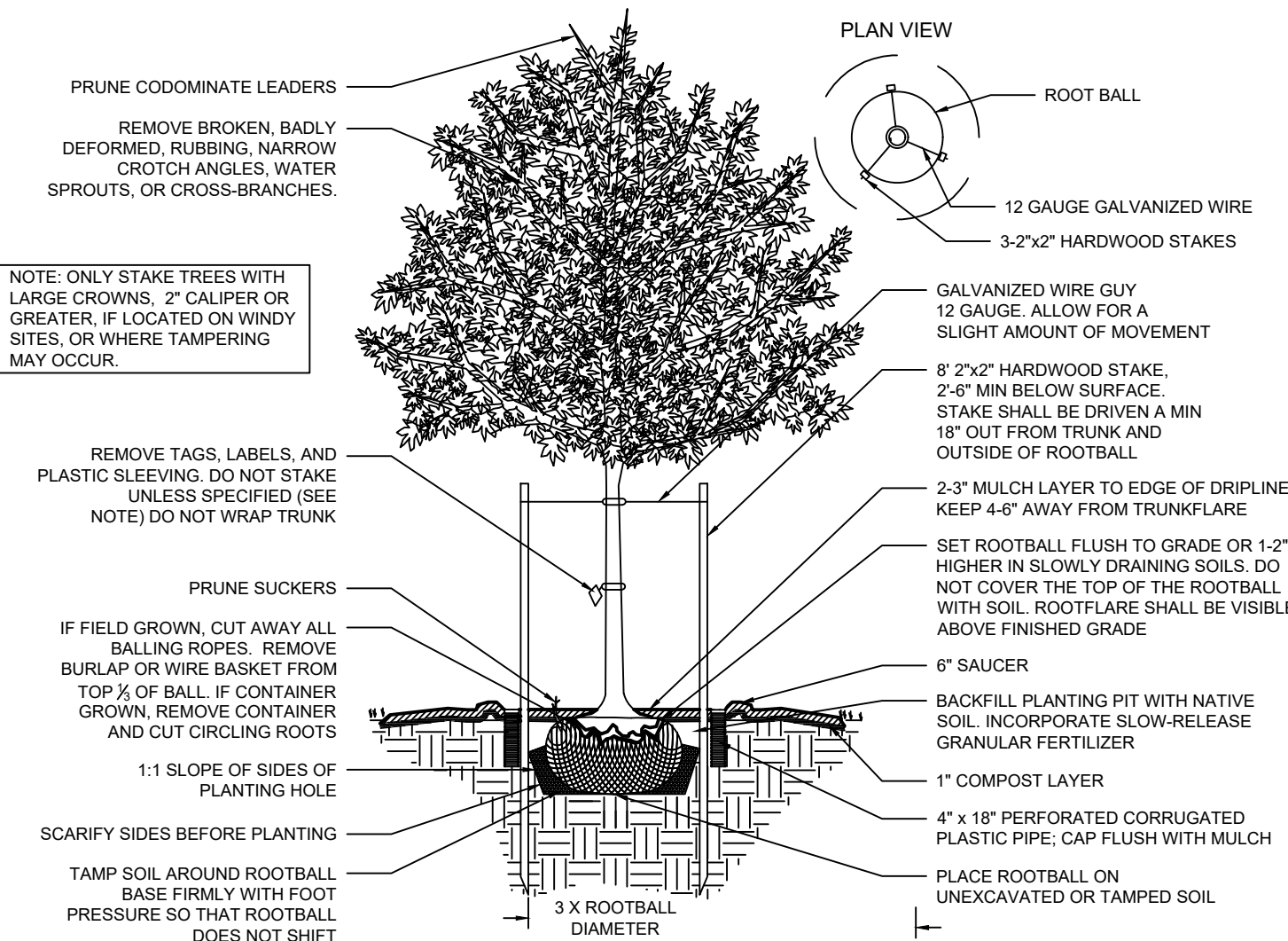


LEGEND	
	VEHICLE USE AREA PERIMETER LANDSCAPE AREA

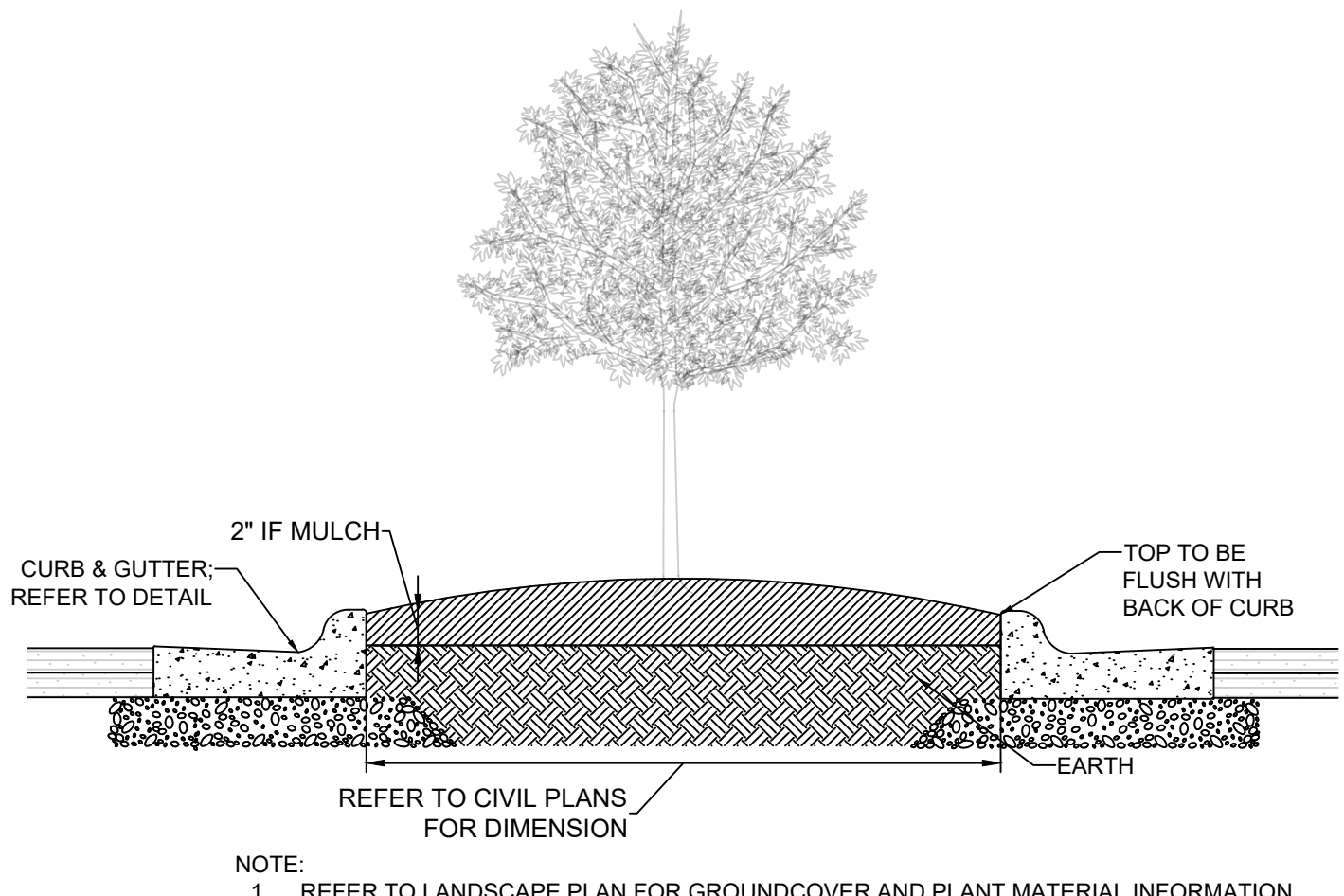
1 SHRUB DETAIL  
NOT TO SCALE



2 DECIDUOUS TREE - STAKING SPECIFIED  
NOT TO SCALE



6 LANDSCAPE ISLAND DETAIL  
NOT TO SCALE



PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF DURHAM, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

# TIMMONS GROUP

TOWNEPLACE SUITES - HILLSBOROUGH RD  
DURHAM - DURHAM COUNTY - NORTH CAROLINA  
PERIMETER V.U.A. AND TREE CANOPY PLAN

YOUR VISION ACHIEVED THROUGH OURS.	
DATE	09/27/2019
DRAWN BY	C. PUGH
DESIGNED BY	S. BALLENTINE
CHECKED BY	S. BALLENTINE
SCALE	AS SHOWN
THIS DRAWING PREPARED AT THE RALEIGH OFFICE 5410 Trinity Road, Suite 102   Raleigh, NC 27607 TEL 919.866.4951 FAX 919.833.8124 www.timmons.com	
REVISION DESCRIPTION	
DATE	NCDDOT COMMENTS
2/13/2020	CITY OF DURHAM SITE PLAN SUBMITTAL #2
3/3/2020	CITY OF DURHAM CONSTRUCTION DRAWINGS SUBMITTAL #1
4/3/2020	DURHAM COUNTY EROSION CONTROL SUBMITTAL #1
5/1/2020	CITY OF DURHAM SITE PLAN SUBMITTAL #3

5/1/2020

SITE PLAN SET -  
NOT RELEASED FOR CONSTRUCTION

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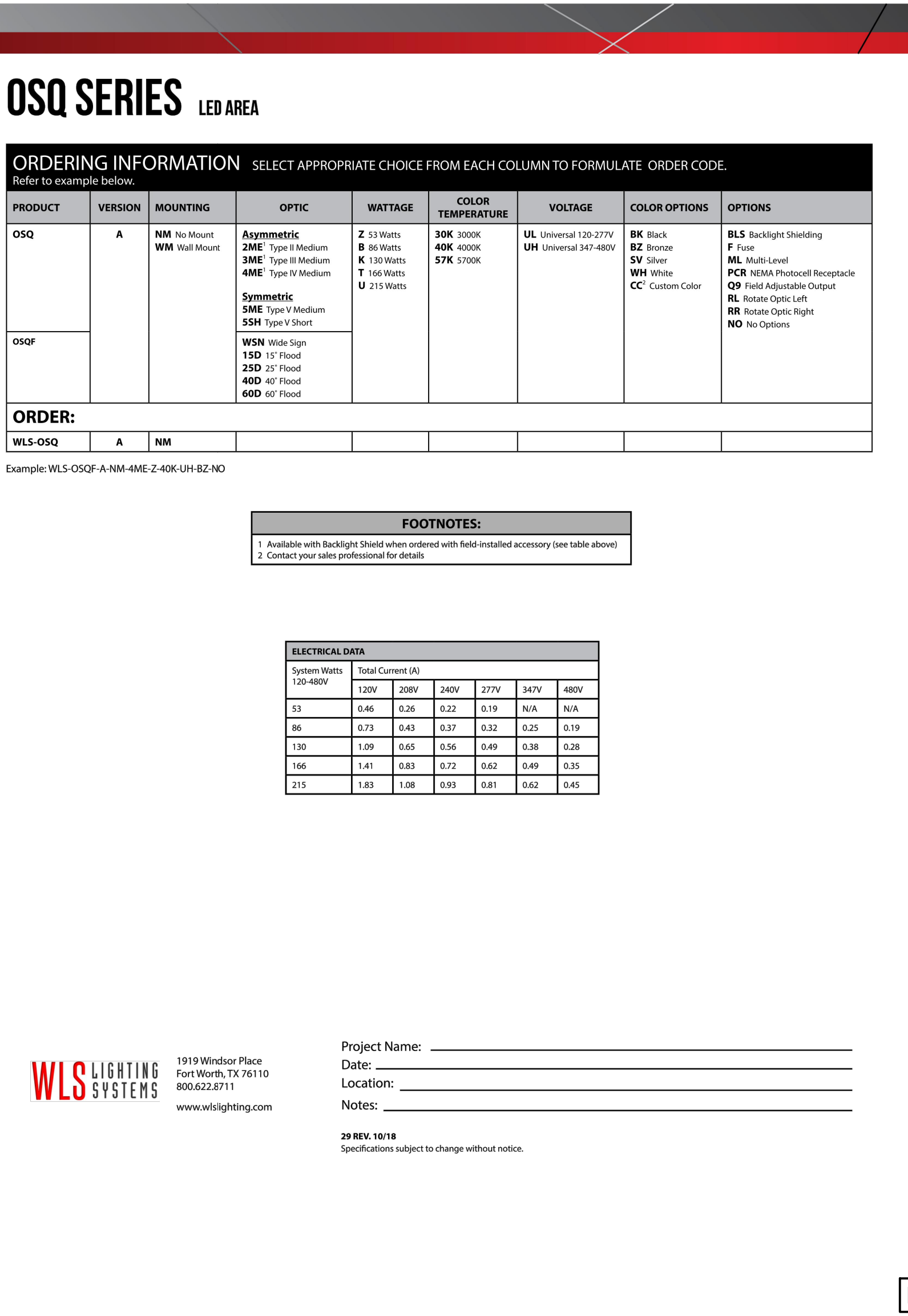
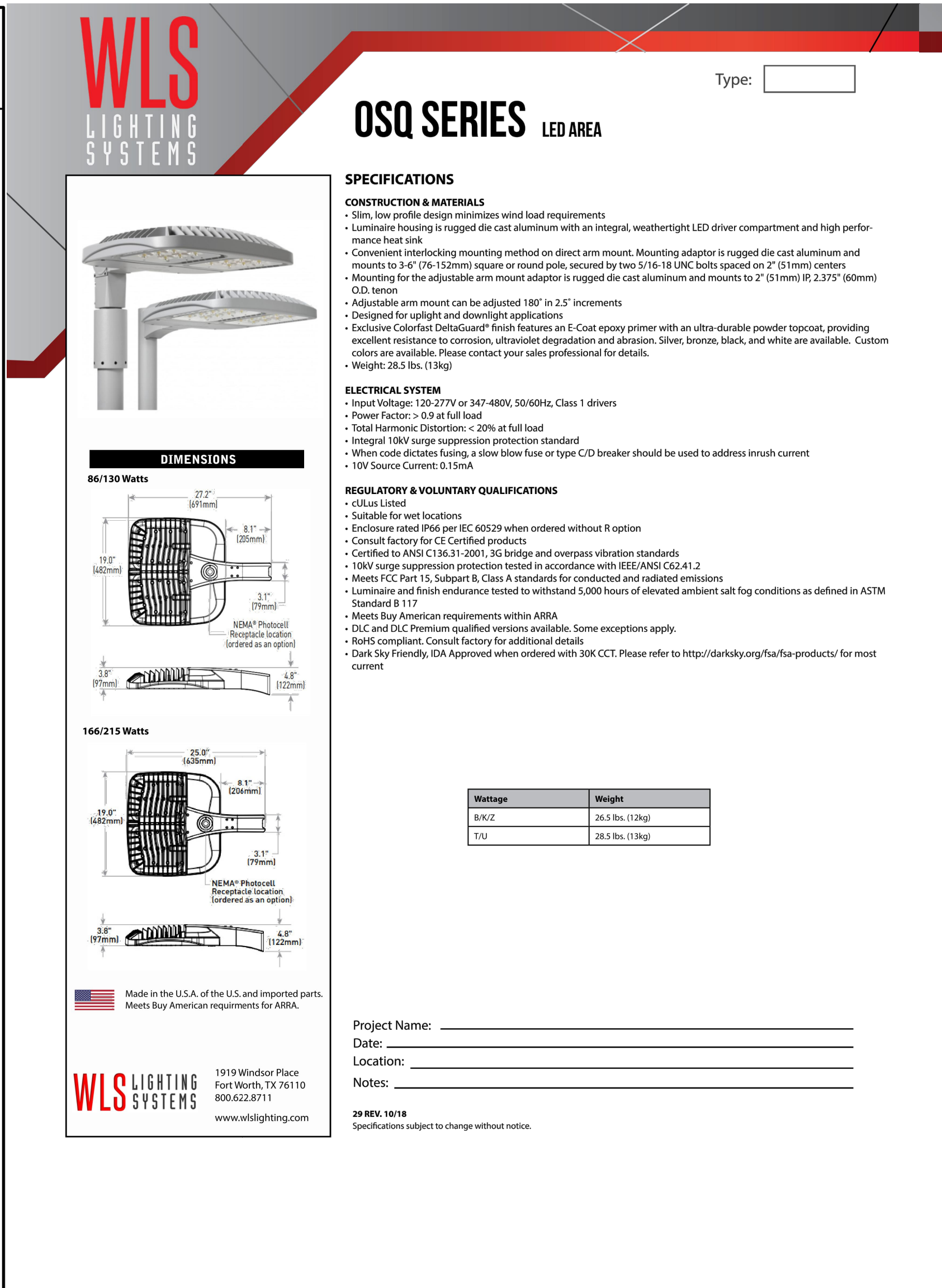
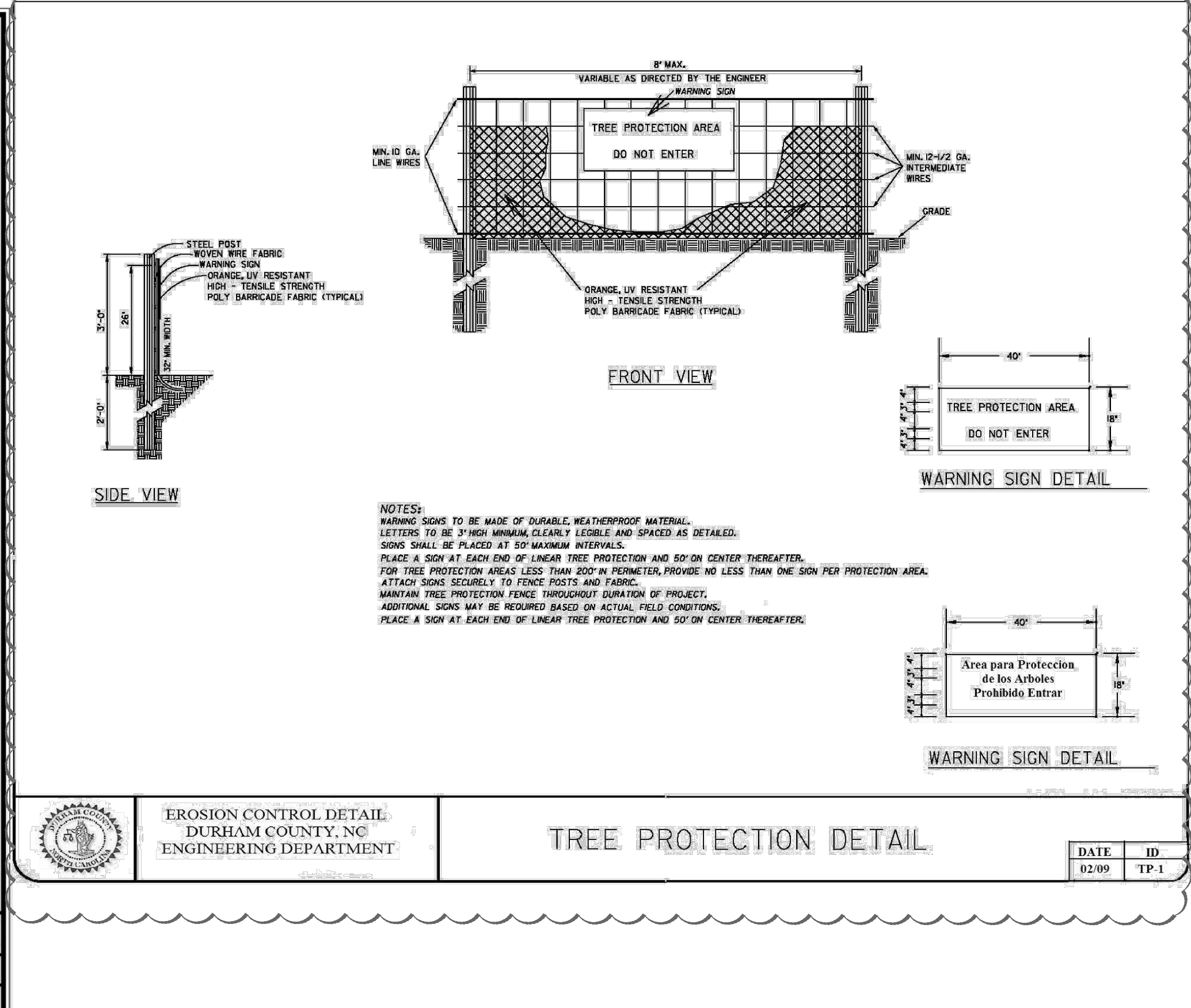
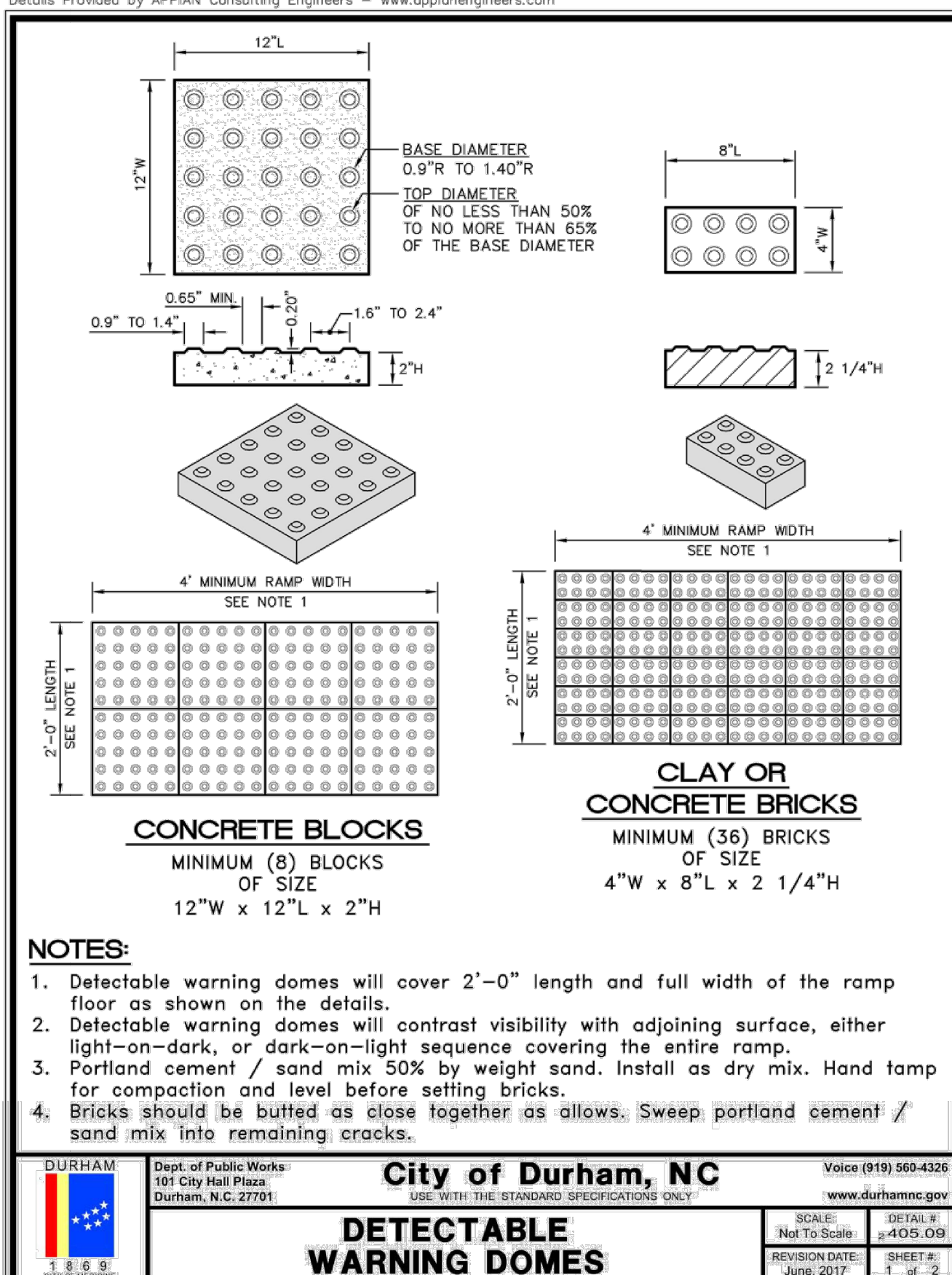




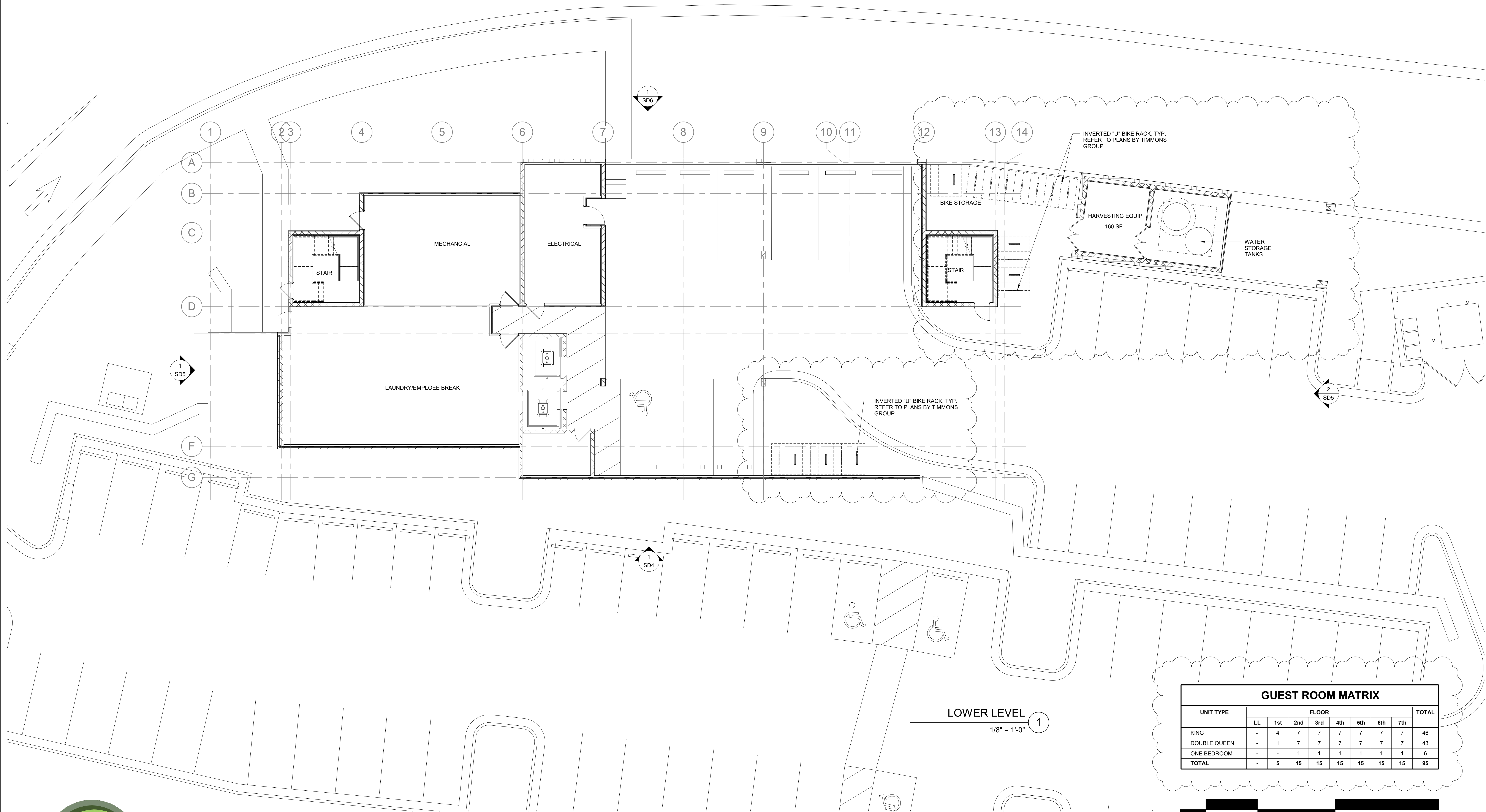








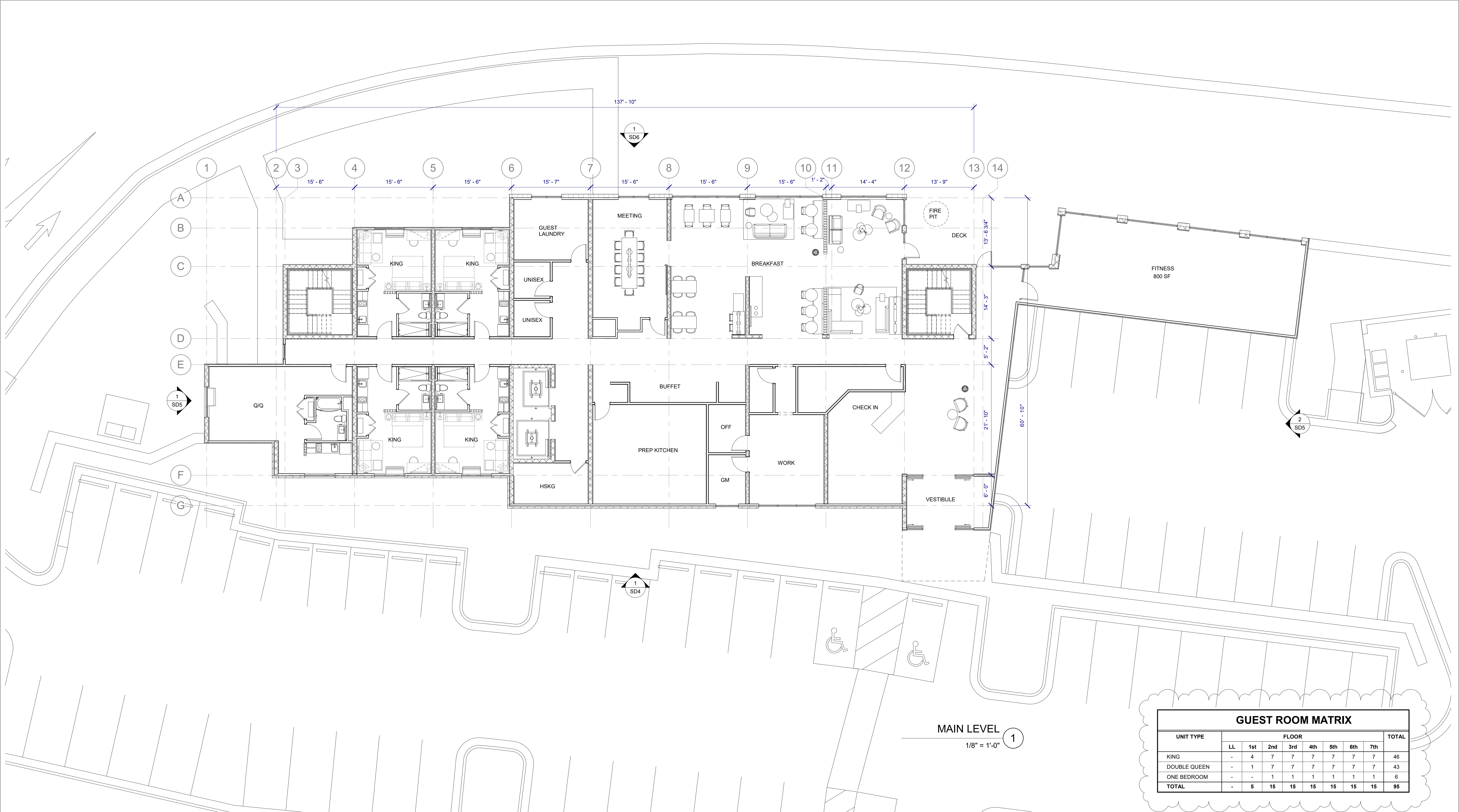




GUEST ROOM MATRIX									
UNIT TYPE	FLOOR								TOTAL
	LL	1st	2nd	3rd	4th	5th	6th	7th	
KING	-	4	7	7	7	7	7	7	46
DOUBLE QUEEN	-	1	7	7	7	7	7	7	43
ONE BEDROOM	-	-	1	1	1	1	1	1	6
TOTAL	-	5	15	15	15	15	15	15	95



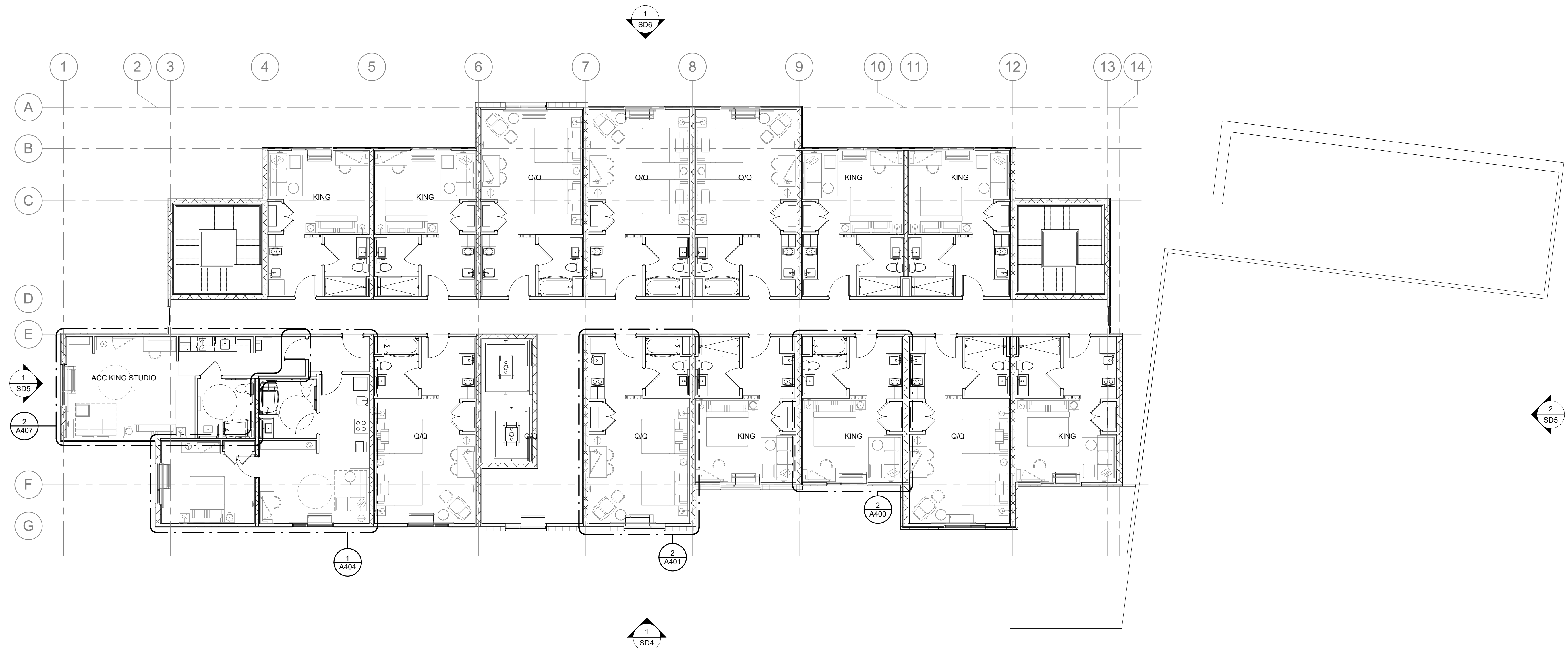




MAIN LEVEL ①  
1/8" = 1'-0"

GUEST ROOM MATRIX									
UNIT TYPE	FLOOR							TOTAL	
	LL	1st	2nd	3rd	4th	5th	6th		7th
KING	-	4	7	7	7	7	7	7	46
DOUBLE QUEEN	-	1	7	7	7	7	7	7	43
ONE BEDROOM	-	-	1	1	1	1	1	1	6
TOTAL	-	5	15	15	15	15	15	15	95



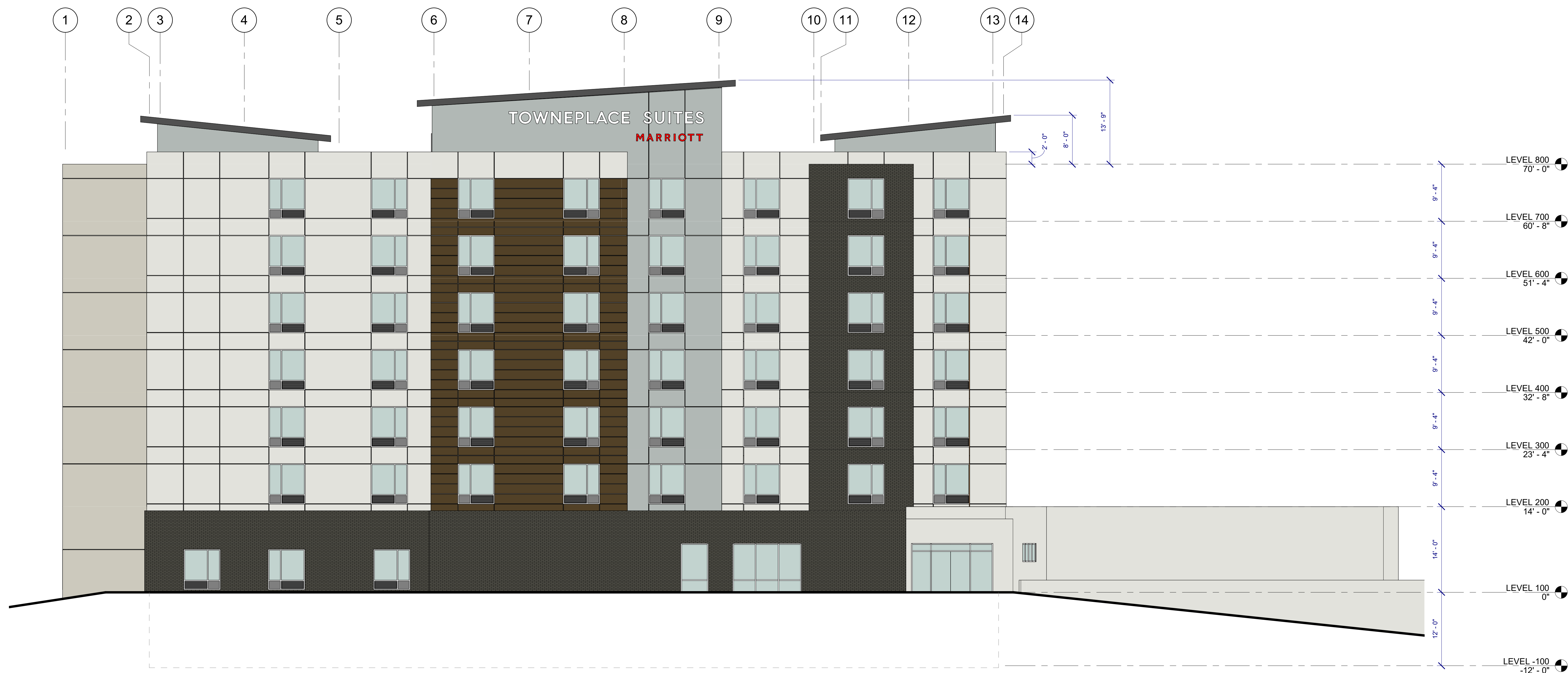


TYPICAL LEVEL (2-6) 1  
1/8" = 1'-0"

GUEST ROOM MATRIX									
UNIT TYPE	FLOOR								TOTAL
	LL	1st	2nd	3rd	4th	5th	6th	7th	
KING	-	4	7	7	7	7	7	7	46
DOUBLE QUEEN	-	1	7	7	7	7	7	7	43
ONE BEDROOM	-	-	1	1	1	1	1	1	6
TOTAL	-	5	15	15	15	15	15	15	95



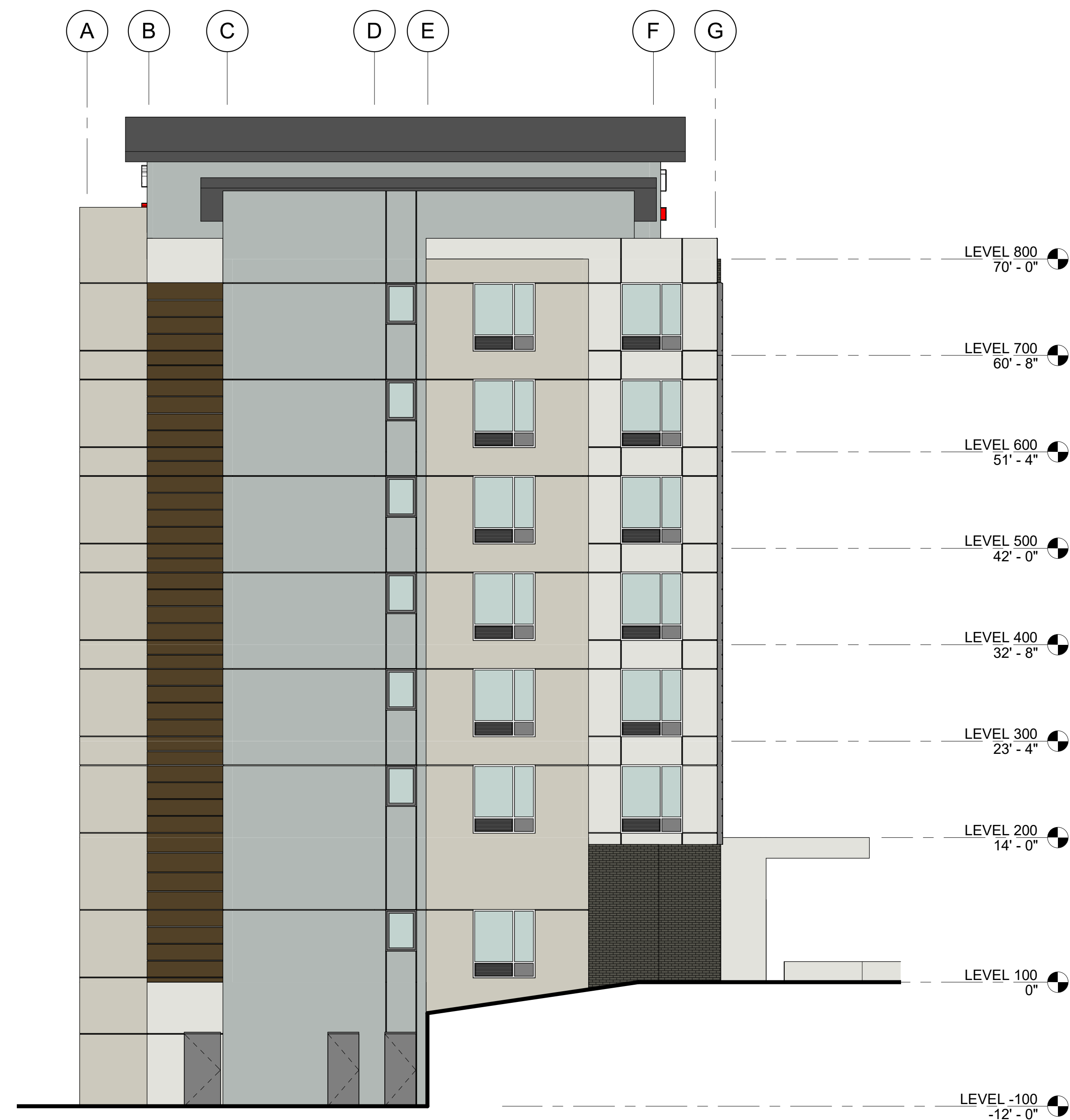




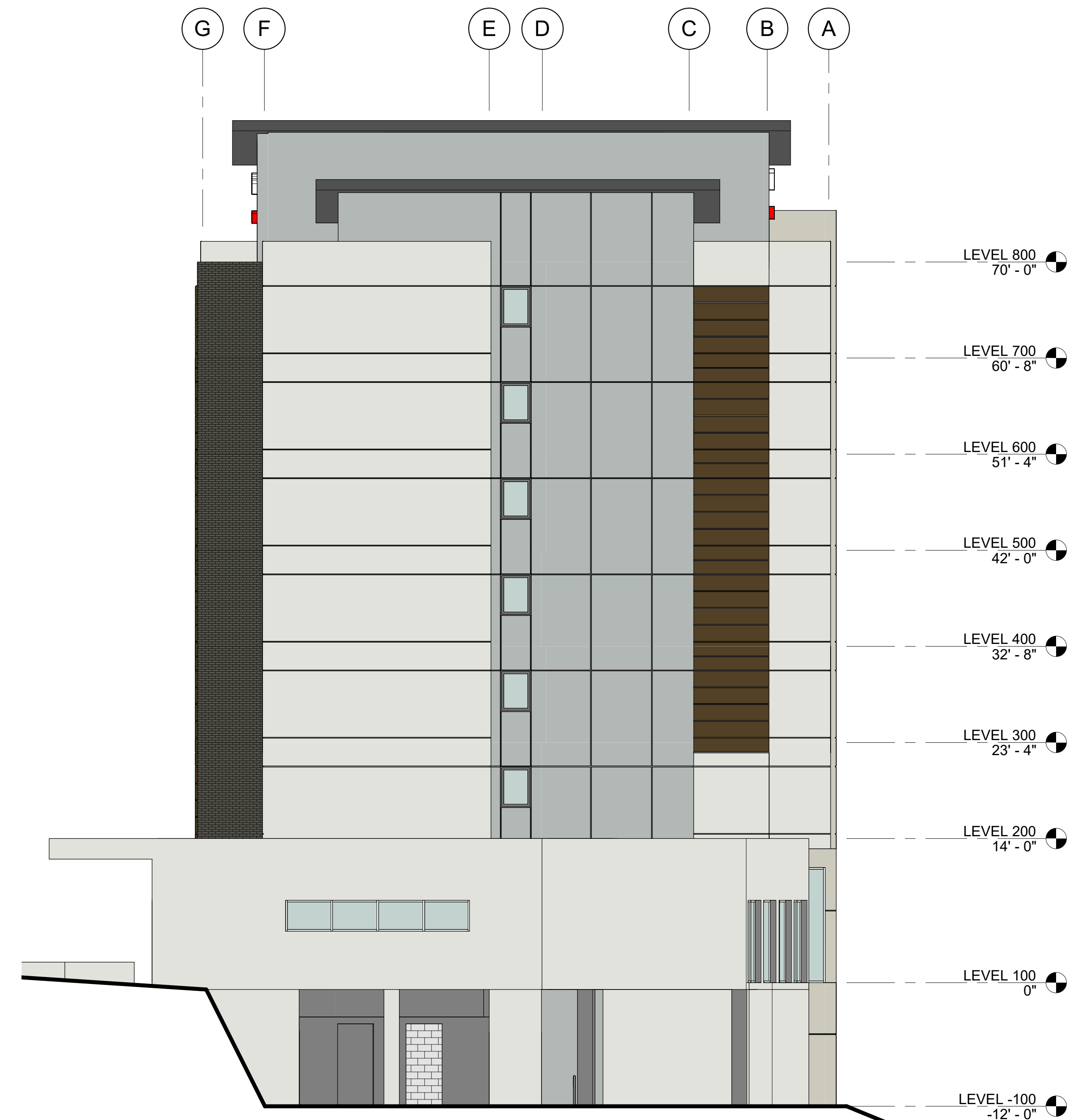
Front Elevation

1/8" = 1'-0"

EXTERIOR FINISH LEGEND		
TOWNEPLACE SUITES by MARRIOTT		
EF1	EIFS	EIFS COLOR 1
EF2	EIFS	EIFS COLOR 2
EF3	EIFS	EIFS COLOR 3
EF4	EIFS	EIFS COLOR 4
BK1	BRICK	BRICK VENEER



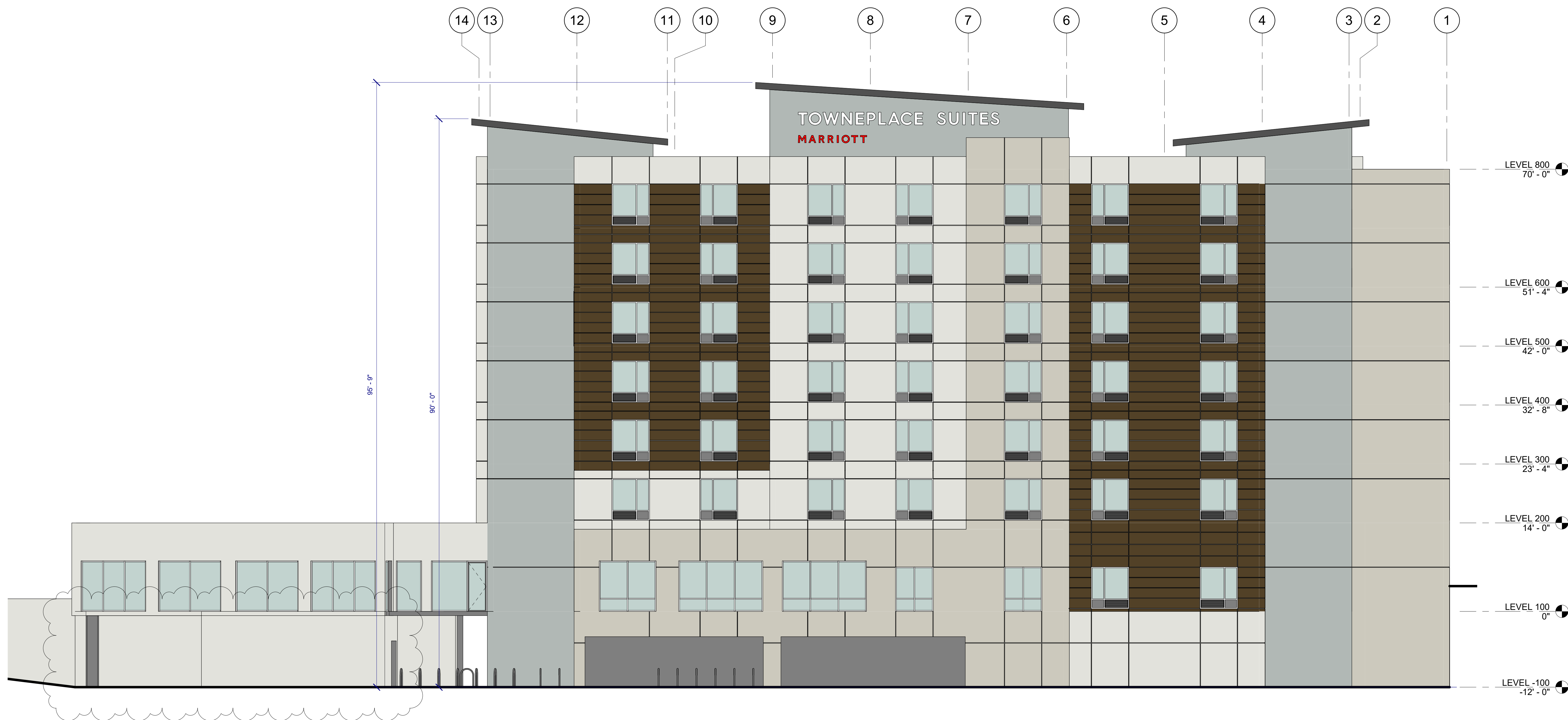
Left Elevation 1  
1/8" = 1'-0"



Right Elevation 2  
1/8" = 1'-0"



EXTERIOR FINISH LEGEND		
TOWNEPLACE SUITES by MARRIOTT		
EF1	EIFS COLOR 1	
EF2	EIFS COLOR 2	
EF3	EIFS COLOR 3	
EF4	EIFS COLOR 4	
BK1	BRICK VENEER	



Rear Elevation 1  
1/8" = 1'-0"

EXTERIOR FINISH LEGEND		
TOWNEPLACE SUITES by MARRIOTT		
EF1	EIFS COLOR 1	
EF2	EIFS COLOR 2	
EF3	EIFS COLOR 3	
EF4	EIFS COLOR 4	
BK1	BRICK VENEER	